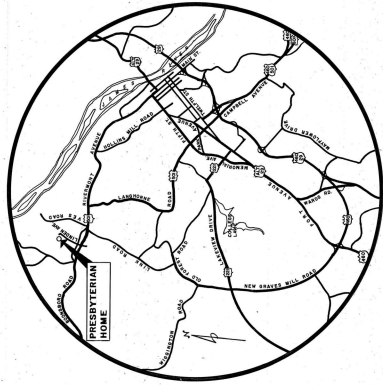
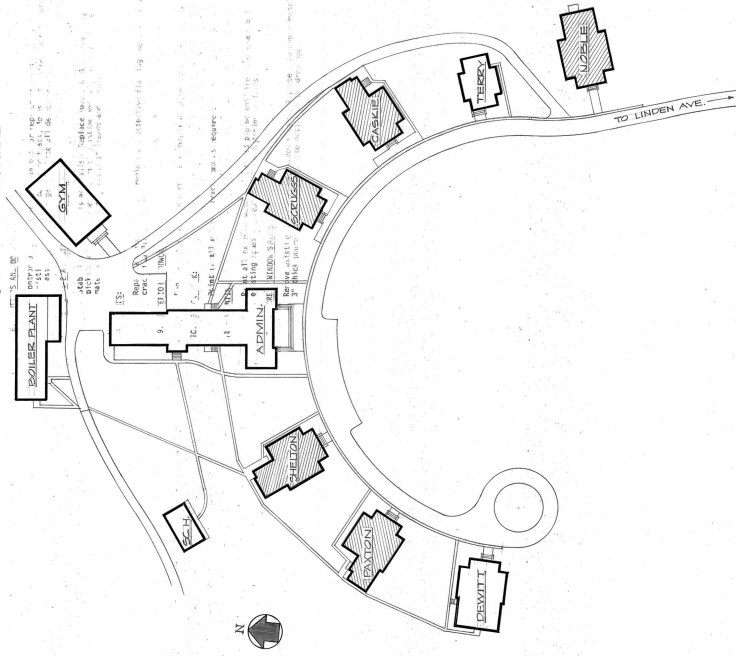


PRESBYTERIAN HOME IMPROVEMENTS

LYNCHBURG, VIRGINIA



VICINITY MAP



COTTAGE LOCATION PLAN

SCALE: 1" = 60'-0"

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
Lynchburg, Va. Norfolk, Va.

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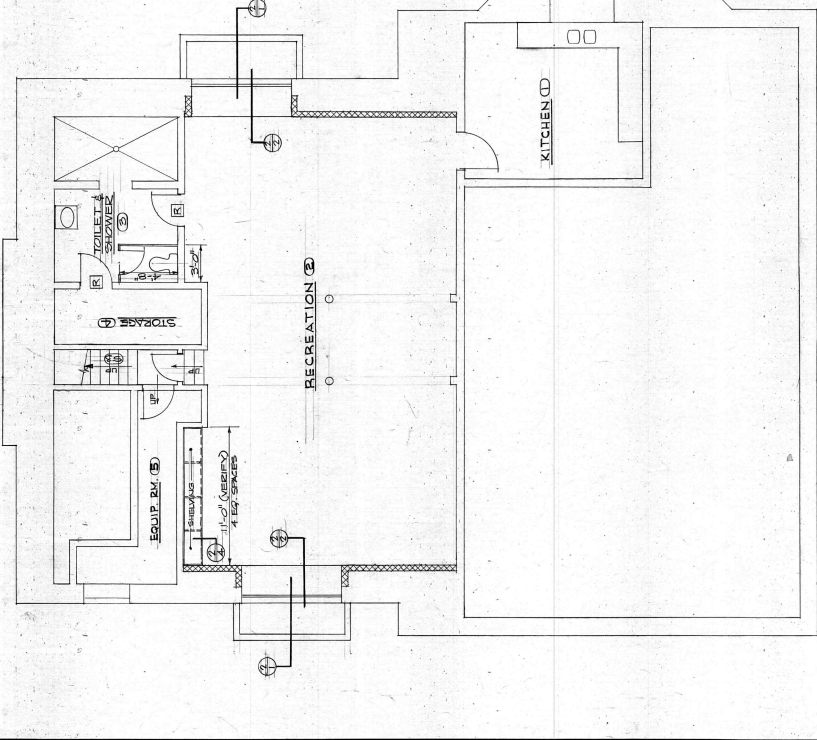


PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

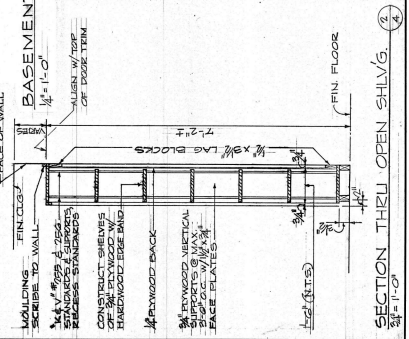
CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA

COVER SHEET

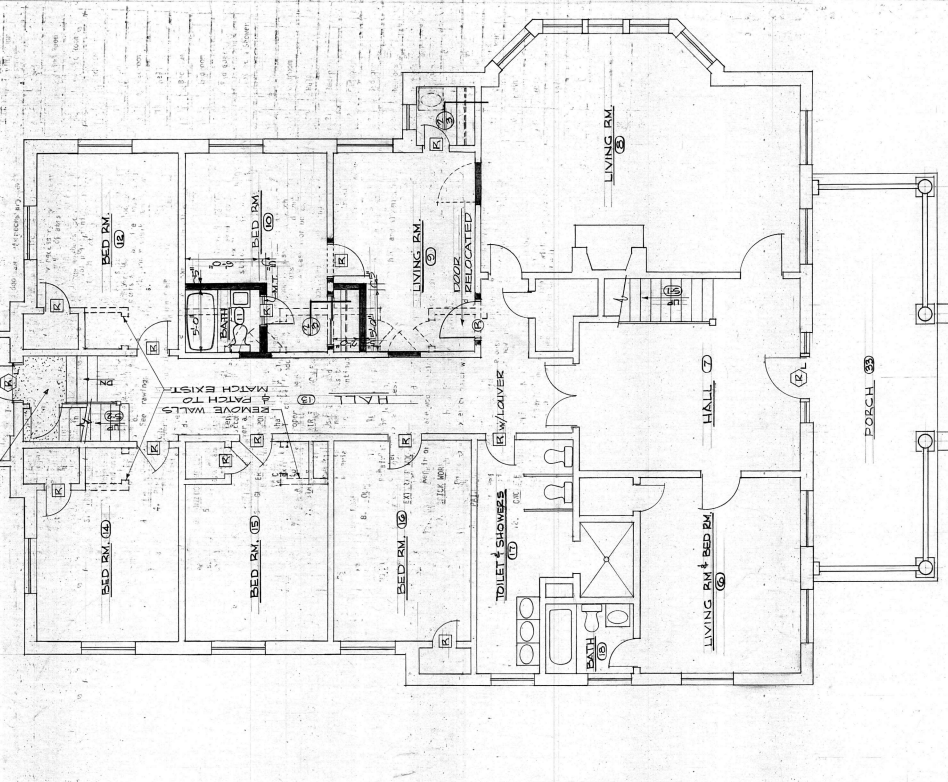
1



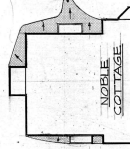
BASEMENT PLAN - NOBLE COTTAGE
1/4" = 1'-0"



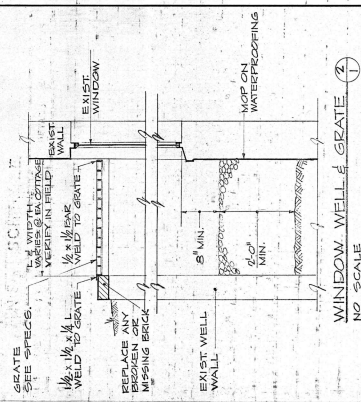
SECTION THROUGH OPEN SHLVG.
1/4" = 1'-0"



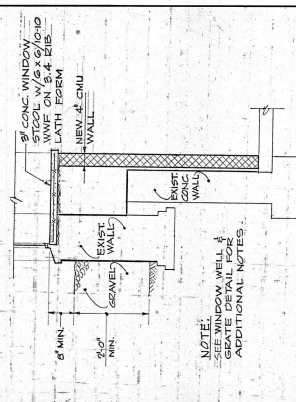
FIRST FLOOR PLAN - NOBLE COTTAGE
1/4" = 1'-0"



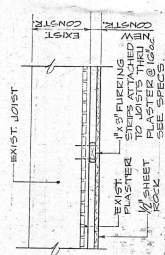
SITE PLAN
1/4" = 1'-0"



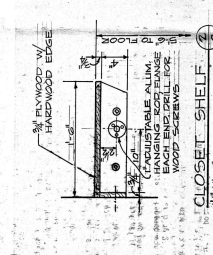
WINDOW WELL & GRATE
NO SCALE



INTERIOR CONC. WINDOW STOOL
NO SCALE



CLOSET SHELF
NO SCALE



CLOSET SHELF
NO SCALE

SEE FINISH SCHEDULE, FINISH SCHEDULE LEGEND AND GENERAL NOTES, SEE DRAWINGS 3

CLARK, NEYSEN & OWEN ARCHITECTS & ENGINEERS LYNCHBURG, VIRGINIA

PRESBYTERIAN HOME IMPROVEMENTS LYNCHBURG, VIRGINIA

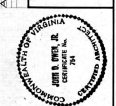
BASEMENT & FIRST FL PLANS NOBLE COTTAGE

DATE: 11/15/10

PROJECT NO: 1000000000

SCALE: 1/4" = 1'-0"

NOBLE COTTAGE	2
BASEMENT & FIRST FL PLANS	2
NOBLE COTTAGE	2
BASEMENT & FIRST FL PLANS	2



ALL FEATHER, TAMP, PROPERLY COMPACTED, PROPER DRAINAGE AS SHOWN. RESEED ALL FILLED AREAS.

FINISH SCHEDULE

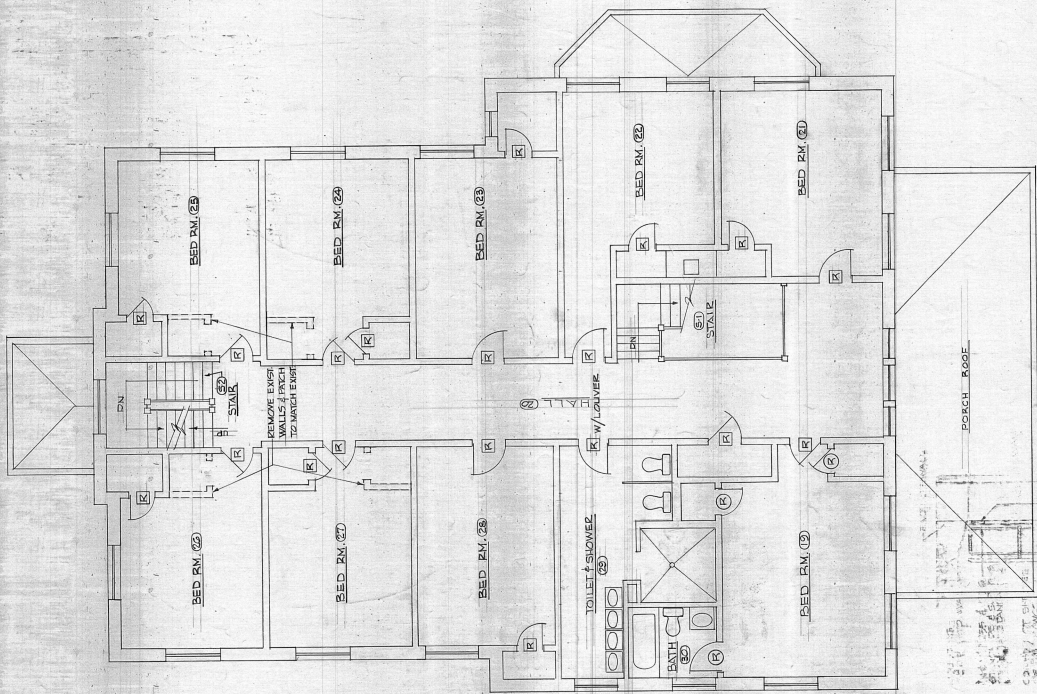
SPACE NO.	SPACE NAME	FLOOR	BASE	WALLS	WOOD CEILING	WOOD FLOORING	DETAILS	REMARKS
1	Kitchen	C	C		F			
2	Recreation	C	C					
3	Toilet - SHWR	L	EPOXY		N			
4	Staircase				Q			
5	Equip. Room							
6	Living Room	A	A					
7	Hall	A	A					
8	Living Room	A	A					
9	Living Room	A	M					
10	Bedroom	A	M					
11	Bath	C.T.	C.T.	3-1/2"	N			6" x 6" work at tub
12	Bedroom	A	A					
13	Hall	A	A					
14	Bedroom	A	A					
15	Bedroom	A	A					
16	Bedroom	A	A					
17	Toilet & Shower	B	B		N			
18	Bath	B	B		N			
19	Bedroom	A	A					
20	Hall	A	A					
21	Bedroom	A	A					
22	Bedroom	A	A					
23	Bedroom	A	A					
24	Bedroom	A	A					
25	Bedroom	A	A					
26	Bedroom	A	A					
27	Bedroom	A	A					
28	Bedroom	A	A					
29	Toilet & Shower	B	B		N			
30	Bath	B	B		N			
31	Attic							
S-1	Stair	SEE GENERAL NOTE NO. 7						
S-2	Stair	SEE GENERAL NOTE NO. 7						Paint 2 coats P. & L. Vynex Floor Paint
32	Entry							
33	Porch							Paint 2 coats P. & L. Vynex Floor Paint

FINISH SCHEDULE LEGEND

- Remove existing floor cover and base moulds. Clean and level existing hard-core flooring, set all protruding nails, and install direct glue down.
- Clean all ceramic tile and replace all broken, cracked or missing tiles.
- Remove and replace to match existing, all broken, cracked, loose or missing resilient tiles.
- Base moulding to match existing, clean surface and apply topcoat floor and 4" base moulding to match existing.
- Remove existing floor cover, base and baseboard floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base.
- Finish and repair existing sheetrock ceiling as necessary to obtain a smooth finish.
- Attach 1/2" x 3" furring strips at 16" o.c. to brisels with 1/2" cement backed wall studs through existing plaster, apply 1/2" sheetrock to furring strips, skim, tape and finish as per manufacturers recommendations to obtain a smooth surface.
- Clean and paint existing brick walls.
- Remove existing plaster and apply 1/2" sheetrock to existing brick walls. Skim off base plaster for smooth finish and apply 1/2" sheetrock to existing brick walls. Skim off base plaster for smooth finish and apply 1/2" sheetrock to existing brick walls. Skim off base plaster for smooth finish and apply 1/2" sheetrock to existing brick walls. Skim off base plaster for smooth finish and apply 1/2" sheetrock to existing brick walls.
- All walls with defective, loose, cracked or peeling plaster shall be scraped, patched or replastered to obtain a smooth finish and painted.
- Replace damaged or stained acoustic tiles with new matching tiles. Repair and provide new light fixtures.
- Clean cabinets and paint.
- New walls and patched existing walls shall be 3/8" rib bath on wood studs plastered with stips.
- Strips, sand or otherwise put in smooth condition and paint.
- Remove existing wood paneling, 2 x 4 studs, furring strips and wood base.
- Replace with 1/2" C.M.U. wall as shown on plan and paint.
- Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 1/2" C.M.U. wall as shown on plan and paint.
- Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 1/2" C.M.U. wall as shown on plan and paint.
- One inch gypsum plaster on metal lath on underside of exposed wood stair and landing.

GENERAL NOTES

- ALL WINDOWS:**
Remove top and bottom sashes. Repair or replace loose sash and replace; replace all broken or cracked glass. Repair or replace loose sash and replace; replace all broken or cracked glass. Repair or replace loose sash and replace; replace all broken or cracked glass. Repair or replace loose sash and replace; replace all broken or cracked glass.
- DOOR AND FRAMES:**
Install new matching painted door and any necessary new hardware. Repair or replace frame as required. Sash "L" indicates lockset. Repair or replace frame as required. Sash "L" indicates lockset. Repair or replace frame as required. Sash "L" indicates lockset.
- FRONT & REAR PORCHES:**
Repair floors and other work as necessary. Replace all loose, broken and missing pieces with matching new pieces and stabilize loose balustrade and railing. Repair or replace loose balustrade and railing. Repair or replace loose balustrade and railing.
- PIPE INSULATION:**
All exposed vertical heating pipes extending from floor to elbow shall be insulated.
- WINDOW WELLS:**
Repair and replace all loose bricks, clean out well, excavate 3 feet below existing concrete footing and replace with new concrete. Provide metal flashing above and below window.
- GUTTERS AND DOWNPOUTES:**
Contractor shall repair, clean out, or replace if missing to match existing. All gutters, downspouts, downpipes, straps and anchors shall be replaced with new materials. Provide all corrective cast iron work.
- SHALE-54 AND STEEL-54 AT ROLES:**
Rebuild, hose match and install. Replace loose, broken or missing pieces with new pieces to match existing and replace existing lead material with copper continuous at truss and risers.
- ROOF:**
Repair all roof leaks and replace all defective flashing and all missing, cracked or loose shingles.
- EXTERIOR DOWNPOUTS:**
Repair or replace wood cornices as required; paint same.
- BRICKWORK:**
Point up all exterior brick work as required.
- PAINTING:**
Paint all exterior woodwork, exposed piping and fire escapes and all masonry surfaces to match existing or new interior surfaces.
- CONCRETE FINISHING:**
Remove existing concrete and replace with new concrete. Repair all masonry surfaces with new concrete. See detail on the drawings.



SECOND FLOOR PLAN - NOBLE COTTAGE



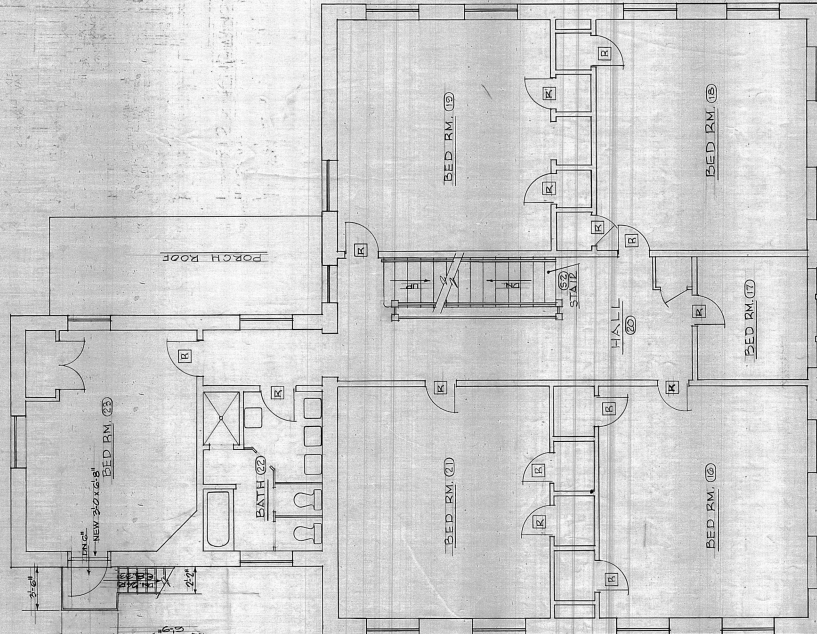
PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK NEESSEN & OWEN ARCHITECTS & ENGINEERS LYNCHBURG, VIRGINIA
NOBLE COTTAGE
SECOND FLOOR PLAN
3

SPACE NO.	SPACE NAME	FLOOR	BASE	WALLS	WOOD CEILING	CEILING HEIGHT	DETAILS & REMARKS
1	Recreation	D	D	D	K	F	
2	Kitchen	D	D	D	H	F	Paint 2 coats of L. Vase Floor Paint
3	Lantern	L	L	L	L	N	
4	Toilet - 5'x7'	A	A	A	A	G	
5	Living Room	A	A	A	A	G	
6	Living Room	A	A	A	A	G	
7	Bedroom	C	C	C	C	G	
8	Bath	C	C	C	C	N	
9	Storage	C	C	C	C	G	
10	Bath	B	B	B	B	N	
11	Hall	A	A	A	A	G	
12	Television	A	A	A	A	G	
13	Living Room	E	E	E	E	G	
14	Bath	C.T.	C.T.	C.T.	C.T.	5'-6"	6'-0" x 8'-0" at sub
15	Dressing R.	A	A	A	A	G	
16	Bedroom	A	A	A	A	G	
17	Bedroom	A	A	A	A	G	
18	Bedroom	A	A	A	A	G	
19	Bedroom	A	A	A	A	G	
20	Hall	A	A	A	A	G	
21	Bedroom	A	A	A	A	G	
22	Bath	B	B	B	B	N	
23	Bedroom	A	A	A	A	G	
24	Attic	A	A	A	A	G	
25	Porch	SEE GENERAL NOTE N.D. 3					
26	Porch	SEE GENERAL NOTE N.D. 3					
S-1	Stair						
S-2	Stair						

- GENERAL NOTES:**
- ALL WORK:** Remove top and bottom sashes. Working loose party and masonry; replace all broken or cracked glass. Repair all cracked or broken woodwork. Replace all cracked or broken windows and frames and sand as necessary to receive paint finish. Remove old paint and apply new paint finish. Provide some windows at all first and second floor openings.
 - DOORS AND FRAMES:**
 - Replicate, install new matching paneled door and any necessary new hardware. Replace frame as required. Small "L" indicates lockset.
 - Replicate, install new flush wood door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
 - Repair and refinish: Secure or replace loose members, scrape off old finish, sand and refinish with appropriate finish. Replicate any defective hardware. Small "L" indicates lockset.
 - FRAME & BEAM JOISTS:** Repair floors and other woodwork as necessary. Replace all loose, broken beams, joists and other woodwork. Remove all loose material and resubstrate. Paint. See drawings for detailed repairs.
 - PIPE INSULATION:**
 - All exposed vertical heating pipes extending from floor to elbow shall be insulated.
 - WINDON WELLS:** Repair and replace all loose bricks, clean out well, excavate 3 feet below grade cover as detailed on the drawings. Provide metal grate cover as detailed on the drawings.
 - WATERS AND DOWNSPUTS:** Contractor shall inspect, clean out, or replace if missing to match existing conditions. Repair or replace all defective cast iron downspouts to assure proper drainage. Replace all defective cast iron downspouts.
 - STAIRS AND STAIRS AT DOORS:** Stabilize loose members and walls. Replace loose, broken or missing materials with equivalent materials. Replicate all defective existing tread materials with equivalent materials. Trade and repair.
 - ROOFS:** Repair or replace all roof, gable and replace all defective framing and all missing, cracked or loose shingles.
 - EXTERIOR WORKS:** Repair or replace wood cornices as required; paint same.
 - BRICK WORK:** Point up all exterior brick work as required.
 - PAINTING:** Paint all exterior woodwork, exposed piping and fire escapes and all existing woodwork, replaced or new exterior surfaces.
 - CONCRETE WINDOW SILLS:** Remove existing interior wood window sills. Replace with approximately 2" thick bonded concrete sill. See detail on the drawings.

- FINISH SCHEDULE**
- Remove existing floor cover and shoe mold, clean and level existing hardwood flooring, set all protruding nails, and install direct glue down carpet.
 - Clean all ceramic tiles and replace all broken, cracked or missing tiles.
 - Remove and replace to match existing, all broken, cracked, loose or missing resilient tiles.
 - Remove existing floor tiles, clean surface and apply topcoat floor and 4" base coat. Repair and replace missing tiles. Repair and replace missing tiles with 3/4" plywood and surface with direct glue down carpet. Replace wood base.
 - Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base.
 - Remove and repair existing sheetrock ceiling as necessary to obtain a smooth finish.
 - Match 1" x 3" framing studs at 16" o.c. to brackets with left corner matched joints through existing plaster. Apply 1/2" sheetrock tourring strips, studs, type and specie as per manufacturers recommendation to obtain a smooth surface.
 - Clean and paint existing brick walls.
 - Remove existing plaster and apply new plaster. Repair and replace missing plaster for smooth finish and apply new wall covering according to manufacturer's recommendations. Replace wood base and existing or new matching crown mold.
 - All walls with defective, loose, cracked or peeling plaster shall be scraped, patched or reglastered to obtain a smooth finish and painted.
 - Remove damaged or stained acoustic tiles with new matching tiles. Repair and replace missing tiles and provide new light fixture.
 - Clean concrete and paint.
 - New walls and attached existing walls shall be 3/8" x 1 1/2" x 1/2" wood studs plastered both sides.
 - Scrape, sand or otherwise put in smooth condition and paint.
 - Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 1/2" C.G. wall as shown on plans and paint.
 - Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 1/2" C.G. wall as shown on plans and paint.
 - Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 1/2" C.G. wall as shown on plans and paint.
 - One inch gypsum plaster on metal lath on underside of exposed wood stair and landing.



SECOND FLOOR PLAN - PAXTON

PRESBYTERIAN HOME IMPROVEMENTS
 LYNCHBURG, VIRGINIA

CLARK HEISEN & OWEN
 ARCHITECTS & ENGINEERS
 LYNCHBURG, VIRGINIA

SECOND FLOOR PLAN
 PAXTON COTTAGE
 SHEET NO. 5

FINISH SCHEDULE

NO.	DESCRIPTION	UNIT	QTY.	REMARKS
1	PAINT INTERIOR WALLS & CEILING	SQ. YD.	1,200	SEMI-GLOSS WHITE
2	PAINT EXTERIOR WALLS	SQ. YD.	150	EXTERIOR GRADE COLORED
3	CEILING SHEET ROCK	SQ. YD.	1,200	5/8" THICK
4	WALL SHEET ROCK	SQ. YD.	1,000	5/8" THICK
5	FLOORING - LAMINATE	SQ. YD.	1,500	3/4" THICK
6	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
7	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
8	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
9	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
10	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
11	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
12	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
13	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
14	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
15	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
16	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
17	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
18	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
19	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
20	CEMENT FLOOR	SQ. YD.	1,500	2" THICK

SCHEMATIC

FLOOR	NO.	DESCRIPTION	UNIT	QTY.	REMARKS
1	1	PAINT INTERIOR WALLS & CEILING	SQ. YD.	1,200	SEMI-GLOSS WHITE
1	2	PAINT EXTERIOR WALLS	SQ. YD.	150	EXTERIOR GRADE COLORED
1	3	CEILING SHEET ROCK	SQ. YD.	1,200	5/8" THICK
1	4	WALL SHEET ROCK	SQ. YD.	1,000	5/8" THICK
1	5	FLOORING - LAMINATE	SQ. YD.	1,500	3/4" THICK
1	6	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	7	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	8	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	9	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	10	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	11	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	12	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	13	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	14	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	15	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	16	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	17	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	18	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	19	CEMENT FLOOR	SQ. YD.	1,500	2" THICK
1	20	CEMENT FLOOR	SQ. YD.	1,500	2" THICK

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/1/80
2	REVISED PER COMMENTS	10/15/80
3	REVISED PER COMMENTS	10/20/80
4	REVISED PER COMMENTS	10/25/80
5	REVISED PER COMMENTS	11/5/80
6	REVISED PER COMMENTS	11/15/80
7	REVISED PER COMMENTS	11/25/80
8	REVISED PER COMMENTS	12/5/80
9	REVISED PER COMMENTS	12/15/80
10	REVISED PER COMMENTS	12/25/80

NOTES

1. ALL WALLS TO BE FINISHED WITH SHEET ROCK AND PAINTED WITH SEMI-GLOSS WHITE PAINT.

2. ALL FLOORS TO BE FINISHED WITH 2" THICK CEMENT FLOOR OR LAMINATE FLOORING AS SHOWN.

3. ALL EXTERIOR WALLS TO BE FINISHED WITH EXTERIOR GRADE COLORED PAINT.

4. ALL ROOFING TO BE FINISHED WITH 2" THICK ASPHALT/FLY ASBESTOS SHINGLES OVER 1/2" THICK GYP-SOLAR BOARD OVER 2" THICK INSULATION.

5. ALL WINDOWS TO BE FINISHED WITH 2" THICK CASING AND 1/2" THICK SILLING.

6. ALL DOORS TO BE FINISHED WITH 1" THICK CASING AND 1/2" THICK SILLING.

7. ALL CEILING JOISTS TO BE FINISHED WITH 1/2" THICK GYP-SOLAR BOARD.

8. ALL FLOOR JOISTS TO BE FINISHED WITH 1/2" THICK GYP-SOLAR BOARD.

9. ALL EXTERIOR JOISTS TO BE FINISHED WITH 1/2" THICK GYP-SOLAR BOARD.

10. ALL INTERIOR WALLS TO BE FINISHED WITH SHEET ROCK AND PAINTED WITH SEMI-GLOSS WHITE PAINT.

11. ALL EXTERIOR WALLS TO BE FINISHED WITH EXTERIOR GRADE COLORED PAINT.

12. ALL ROOFING TO BE FINISHED WITH 2" THICK ASPHALT/FLY ASBESTOS SHINGLES OVER 1/2" THICK GYP-SOLAR BOARD OVER 2" THICK INSULATION.

13. ALL WINDOWS TO BE FINISHED WITH 2" THICK CASING AND 1/2" THICK SILLING.

14. ALL DOORS TO BE FINISHED WITH 1" THICK CASING AND 1/2" THICK SILLING.

15. ALL CEILING JOISTS TO BE FINISHED WITH 1/2" THICK GYP-SOLAR BOARD.

16. ALL FLOOR JOISTS TO BE FINISHED WITH 1/2" THICK GYP-SOLAR BOARD.

17. ALL EXTERIOR JOISTS TO BE FINISHED WITH 1/2" THICK GYP-SOLAR BOARD.

18. ALL INTERIOR WALLS TO BE FINISHED WITH SHEET ROCK AND PAINTED WITH SEMI-GLOSS WHITE PAINT.

19. ALL EXTERIOR WALLS TO BE FINISHED WITH EXTERIOR GRADE COLORED PAINT.

20. ALL ROOFING TO BE FINISHED WITH 2" THICK ASPHALT/FLY ASBESTOS SHINGLES OVER 1/2" THICK GYP-SOLAR BOARD OVER 2" THICK INSULATION.

LEGEND

NO.	DESCRIPTION
1	PAINT INTERIOR WALLS & CEILING
2	PAINT EXTERIOR WALLS
3	CEILING SHEET ROCK
4	WALL SHEET ROCK
5	FLOORING - LAMINATE
6	CEMENT FLOOR
7	CEMENT FLOOR
8	CEMENT FLOOR
9	CEMENT FLOOR
10	CEMENT FLOOR
11	CEMENT FLOOR
12	CEMENT FLOOR
13	CEMENT FLOOR
14	CEMENT FLOOR
15	CEMENT FLOOR
16	CEMENT FLOOR
17	CEMENT FLOOR
18	CEMENT FLOOR
19	CEMENT FLOOR
20	CEMENT FLOOR

SCALE

NO SCALE

WINDOW WELL & GRATE



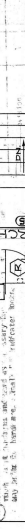
INTERIOR CONC. WINDOW SILL



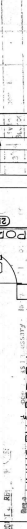
BASEMENT PLAN - SCRUGGS



RECREATION RM.



LAUNDRY



KITCHEN



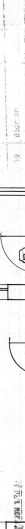
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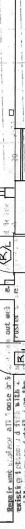
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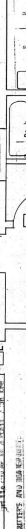
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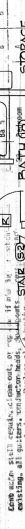
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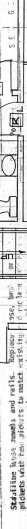
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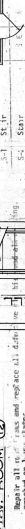
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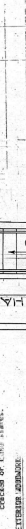
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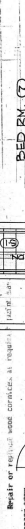
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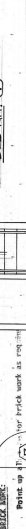
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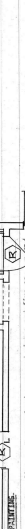
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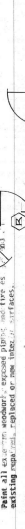
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RECREATION RM.



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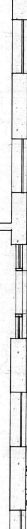
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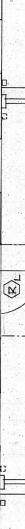
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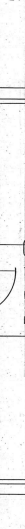
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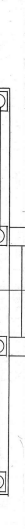
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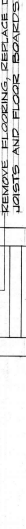
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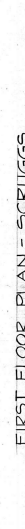
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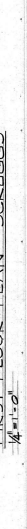
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BASEMENT PLAN - SCRUGGS



RECREATION RM.



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RECREATION RM.



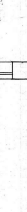
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FINISH SCHEDULE

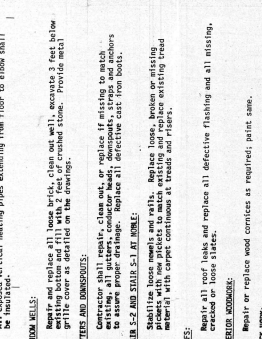
SPACE NAME	FLOOR	BASE	WALLS	WCOT	CEILING	FLOORING	DETAILS	D	REMARKS
1	1	Recreation	D	D	K	K			
2	1	Kitchen	D	D	F	F			
3	1	Laundry	D	D	F	F			
4	1	Toilet - Shower	L	Envy	N	N			
5	1	Living Room	A	I	G	G			
6	1	Living Room	A	I	G	G			
7	1	Bedroom	A	I	G	G			
8	1	Storage	C	J	G	G			
9	1	Storage	B	J	B	N			
10	1	Bath	A	I	G	G			
11	1	Hall	A	I	G	G			
12	1	Television	A	I	G	G			
13	1	Living Room & Kitchen	A	I	G	G			
14	1	Corridor	H	J	B	N			
15	1	Bath	B	J	B	N			
16	1	Bedroom	A	J	B	N			
17	1	Bedroom	A	J	B	N			
18	1	Bedroom	A	J	B	N			
19	1	Bedroom	A	J	B	N			
20	1	Hall	A	I	G	G			
21	1	Bedroom	A	J	B	N			
22	1	Bedroom	A	J	B	N			
23	1	Bedroom	A	J	B	N			
24	1	Attic	A	J	B	N			
25	1	Porch	S E	G E	R A	L	N O. 3		
26	1	Porch	S E	G E	R A	L	N O. 3		
S-1	1	Stair	S E	G E	R A	L	N O. 7		
S-2	1	Stair	S E	G E	R A	L	N O. 7		

GENERAL NOTES:

- ALL WINDOWS: Remove top and bottom sashes. Cracked glass in existing loose putty and re-putty; replace all broken or cracked glass in existing loose putty and re-putty; replace all broken or cracked glass in existing loose putty and re-putty; replace all broken or cracked glass in existing loose putty and re-putty.
- DOORS AND FRAMES: Install new matching paneled door and any necessary new hardware. Repair and refinish: Secure or replace loose members, scrape off old finish, sand, and refinish. See drawings for detailed repairs.
- FRONT & REAR PORCHES: Repair floors and other woodwork as necessary - Replace all loose, broken or missing pickets with matching new pieces and stabilize loose shingles with new pickets to match existing and replace existing tread material with carpet continuous at breaks over risers.
- PIPE INSULATION: All exposed vertical heating pipes extending from floor to elbow shall be insulated.
- WINDOW WELLS: Repair and replace all loose bricks, clean out well, excavate 3 feet below existing finish and backfill with crushed stone. Provide metal grill cover as detailed on the drawings.
- CEILING AND DOWNSPOUTS: Contractor shall repair, clean out, or replace if missing or damaged. All gutters, downspouts, straps and anchors to existing structure shall be replaced if defective and from boots.
- STAIRS S-2 AND STAIRS S-1 AT WELLS: Stabilize loose members and rails. Replace loose, broken or missing pieces with new pickets to match existing and replace existing tread material with carpet continuous at breaks over risers.
- ROSES: Repair or replace wood corices as required; paint same.
- EXTENSION DOWNPOUTS: Repair or replace wood corices as required; paint same.
- BRICK WORK: Paint up all exterior brick work as required.
- PAINTING: All exterior woodwork, including siding and trim, escapes and all existing repaired, replaced or new interior surfaces.
- CONCRETE WINDOW SILL: Remove existing interior wood window stools. Replace with approximately 3" thick poured concrete stool. See detail on the drawings.

FINISH SCHEDULE LEGEND

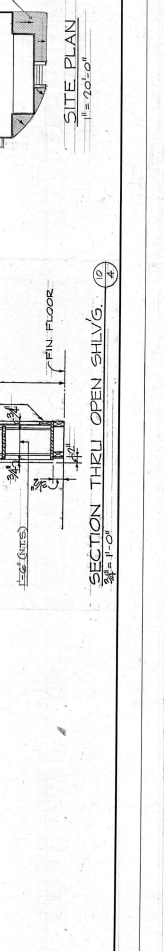
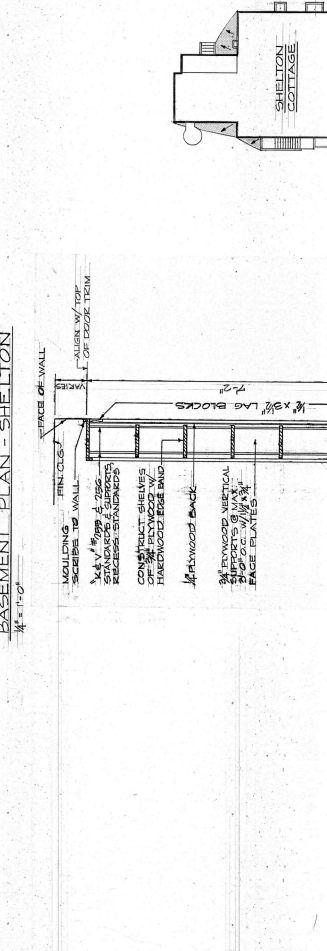
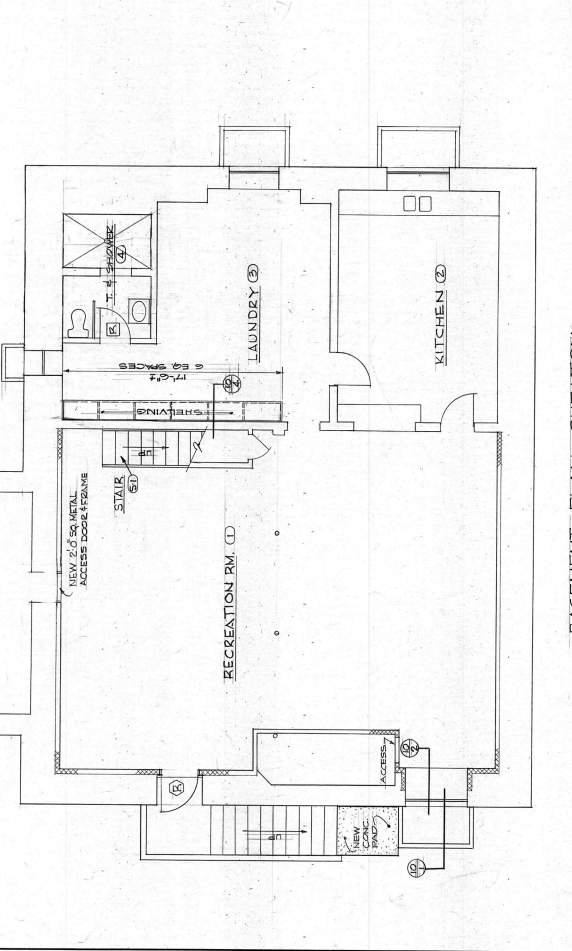
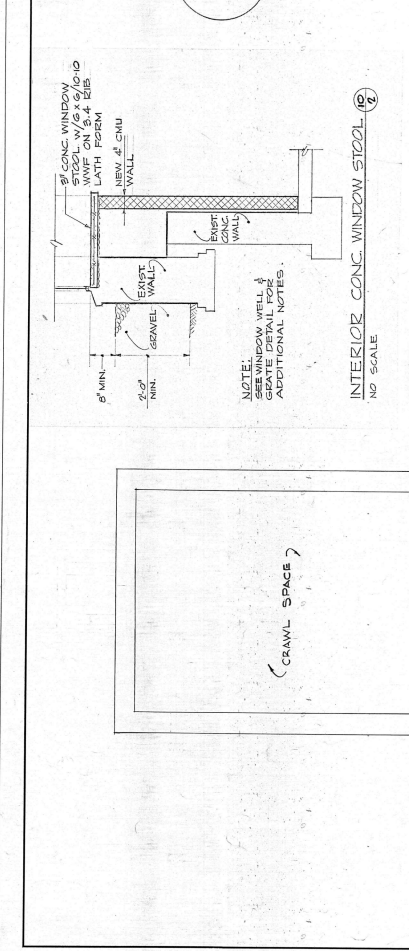
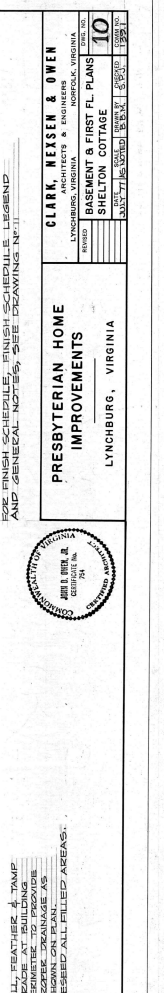
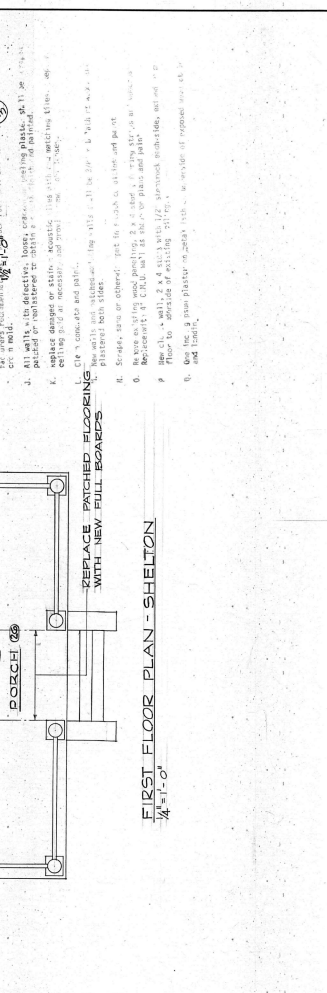
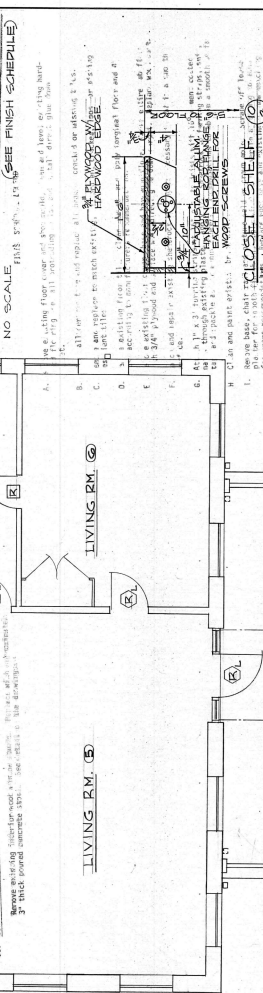
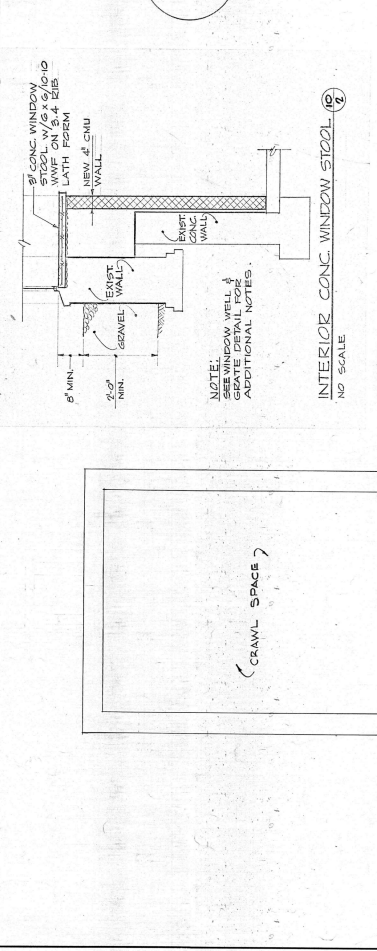
- Remove existing floor cover and shoe mold, clean and level existing hard-core, strip out all protruding nails, and install direct glue down carpet.
- Clean all ceramic tile and replace all broken, cracked or missing tiles.
- Remove and replace to match existing, all broken, cracked, loose or missing resilient tiles.
- Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet.
- Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base.
- Remove and repair existing sheetrock ceiling as necessary to obtain a smooth finish.
- Attach 1" x 3" furring strips at 16" o.c. to studs with 1/2" cement coated nails through existing plaster, apply 1/2" sheetrock to furring strips, scribe, and finish to match existing.
- Remove and patch existing brick walls.
- Remove base, chair rail and other wall coverings. Apply new base plaster for smooth finish and apply vinyl wall covering according to manufacturer's recommendations. Replace wood base and existing or new matching crown mold.
- All walls with defective, loose, cracked or peeling plaster shall be scraped, patched or repatched to obtain a smooth finish and painted.
- Remove and patch existing acoustic tiles with new matching tiles. Repair ceiling grids as necessary and provide new light fixtures.
- Clean concrete and paint.
- New walls and patched existing walls shall be 3/8" - 1/4" lath on wood studs plastered both sides.
- Scrape, sand or otherwise put in smooth condition and skain.
- Remove existing wood paneling, 2 x 2 studs, furring strips and wood base. Install new wall on 2 x 2 studs on 16" joists and patch.
- New floor shall be 2" x 4" sub-floor sheetrock each side, extend from floor to underside of existing ceiling.
- Use high pressure plaster on metal lath on underside of exposed wood stair and landing.



SECOND FLOOR PLAN - SCRUGGS

FINISH SCHEDULE

SYMBOL	FLOOR	USE	FINISH
C	CEILING	RECREATION	RECREATION
D	DOORS	RECREATION	RECREATION
E	EXTERIOR WALLS	RECREATION	RECREATION
F	FLOORING	RECREATION	RECREATION
G	GLASS	RECREATION	RECREATION
H	HANDICAPPED	RECREATION	RECREATION
I	INTERIOR WALLS	RECREATION	RECREATION
J	JACOBI	RECREATION	RECREATION
K	KITCHEN	RECREATION	RECREATION
L	LATH	RECREATION	RECREATION
M	MASONRY	RECREATION	RECREATION
N	NEW	RECREATION	RECREATION
O	OPENINGS	RECREATION	RECREATION
P	PLASTER	RECREATION	RECREATION
Q	QUARTZ	RECREATION	RECREATION
R	ROOFING	RECREATION	RECREATION
S	STAIRS	RECREATION	RECREATION
T	TILES	RECREATION	RECREATION
U	UPPER	RECREATION	RECREATION
V	VALVES	RECREATION	RECREATION
W	WALLS	RECREATION	RECREATION
X	WOOD	RECREATION	RECREATION
Y	YARD	RECREATION	RECREATION
Z	ZONES	RECREATION	RECREATION



CLARK NEISEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA

PRESBYTERIAN HOME IMPROVEMENTS
SHELTON COTTAGE
LYNCHBURG, VIRGINIA

BASEMENT & FIRST FL. PLANS
SHELTON COTTAGE
10

FINISH SCHEDULE, FINISH SCHEDULE LEGEND AND GENERAL NOTES, SEE DRAWING NF-11

REPLACE PATCHED FLOORING WITH NEW FULL BOARDS

REMOVE EXIST. WINDOW W/ 6\"/>

BASEMENT PLAN - SHELTON
1\"/>

FIRST FLOOR PLAN - SHELTON
1\"/>

SITE PLAN
1\"/>

SECTION THRU OPEN SHLV'G.
1\"/>