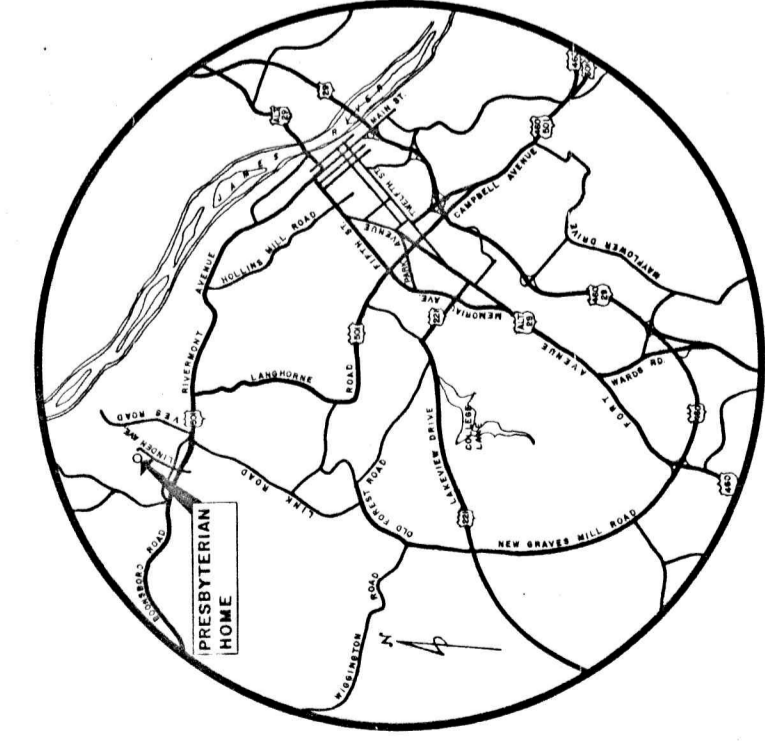
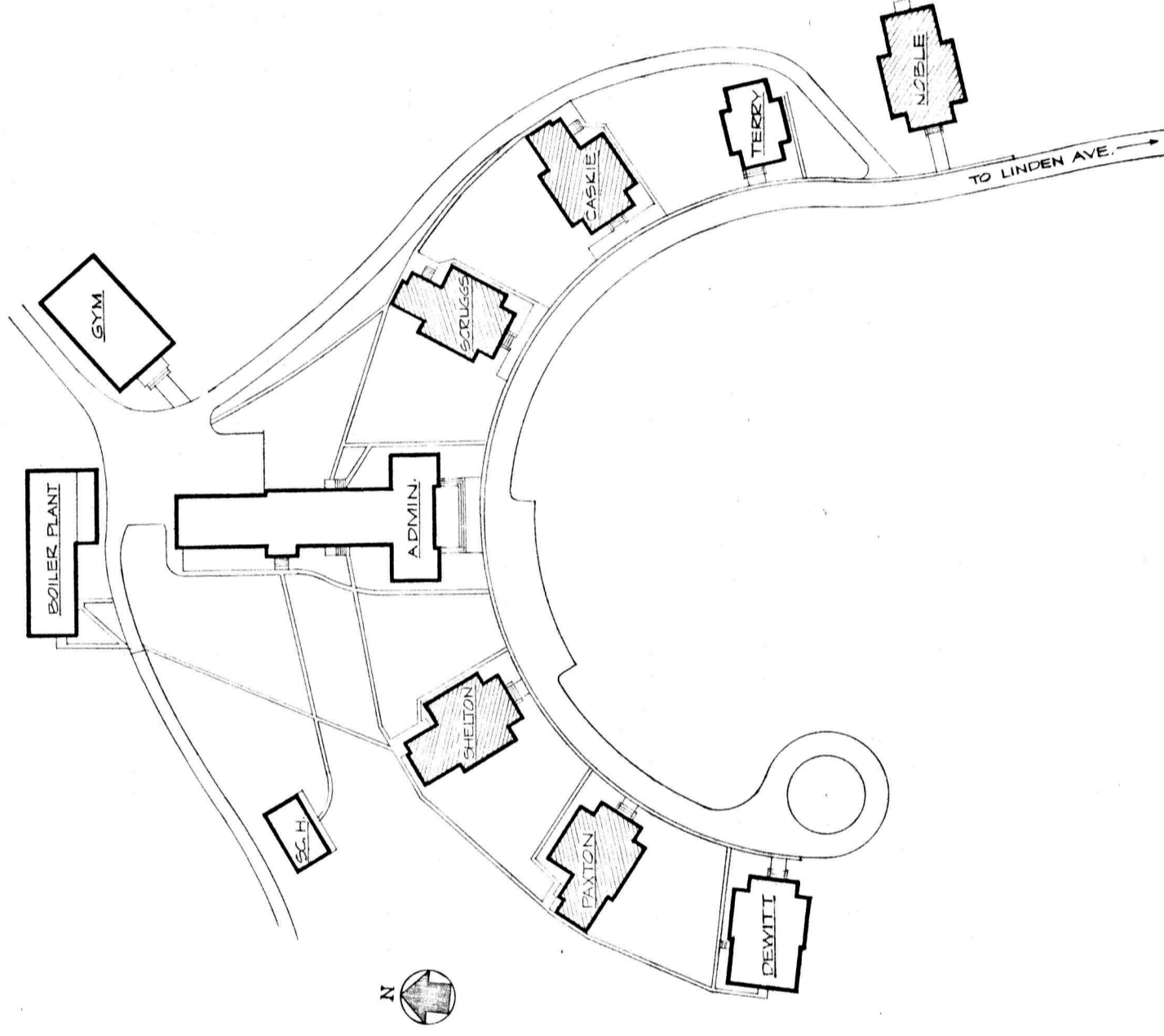


PRESBYTERIAN HOME IMPROVEMENTS

LYNCHBURG, VIRGINIA



VICINITY MAP



COTTAGE LOCATION PLAN

SCALE: 1" = 50'-0"

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
 Lynchburg, Va. Norfolk, Va.

INDEX OF DRAWINGS

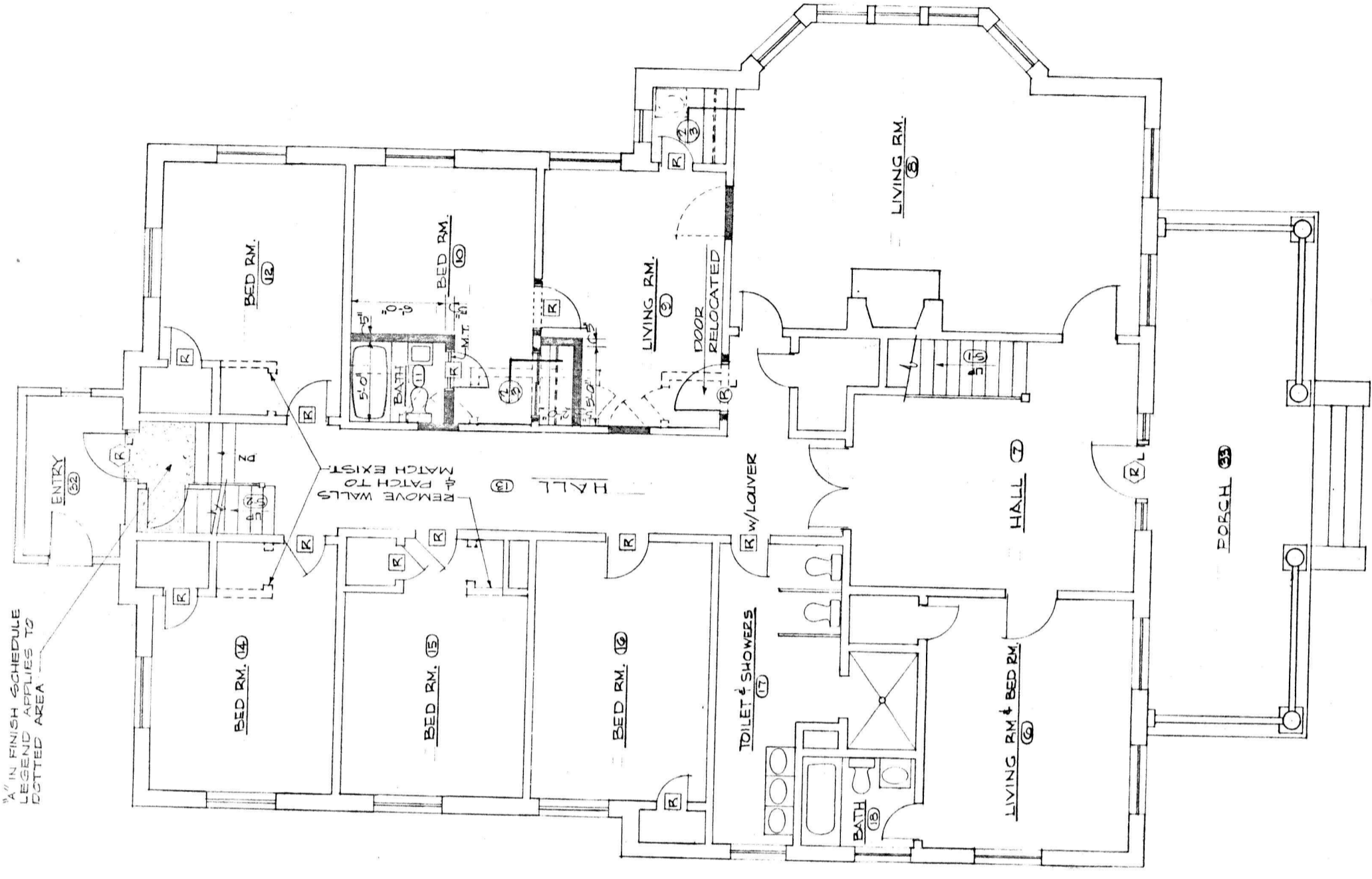
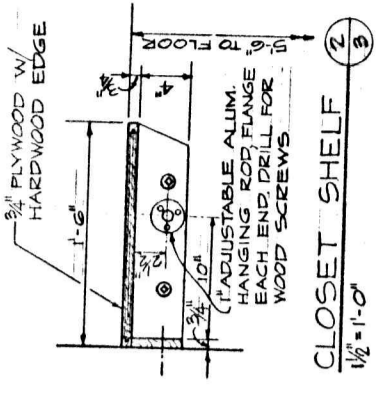
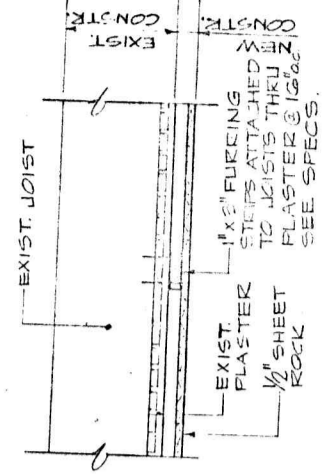
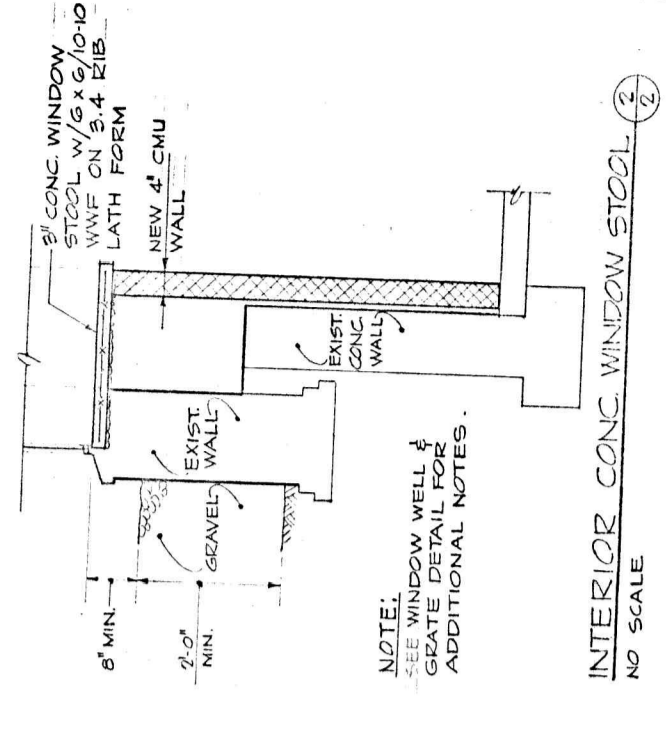
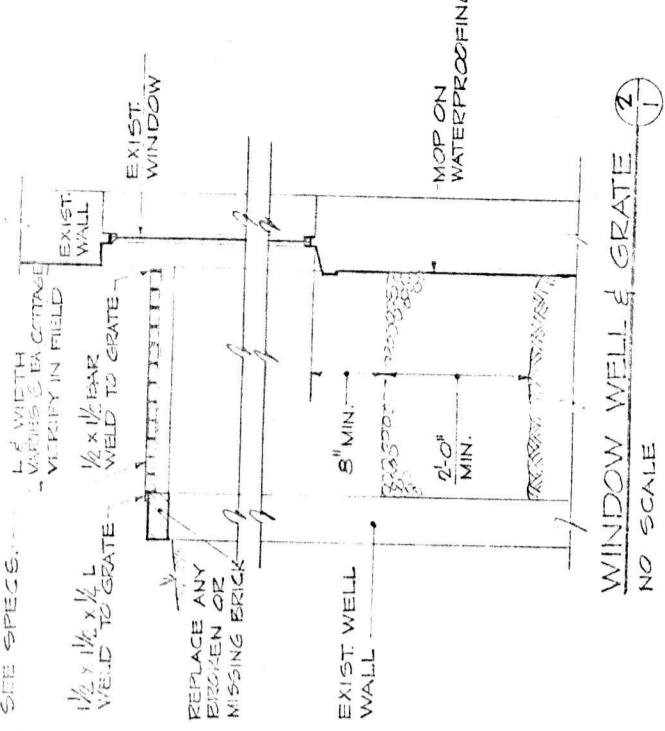
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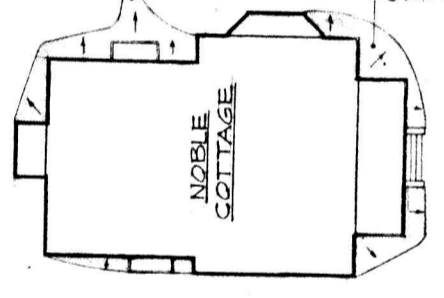
PRESBYTERIAN HOME IMPROVEMENTS
 LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
 ARCHITECTS & ENGINEERS
 LYNCHBURG, VIRGINIA
 COVER SHEET
 I

GRATE
SITE SPECS.



FIRST FLOOR PLAN - NOBLE COTTAGE
1/4" = 1'-0"



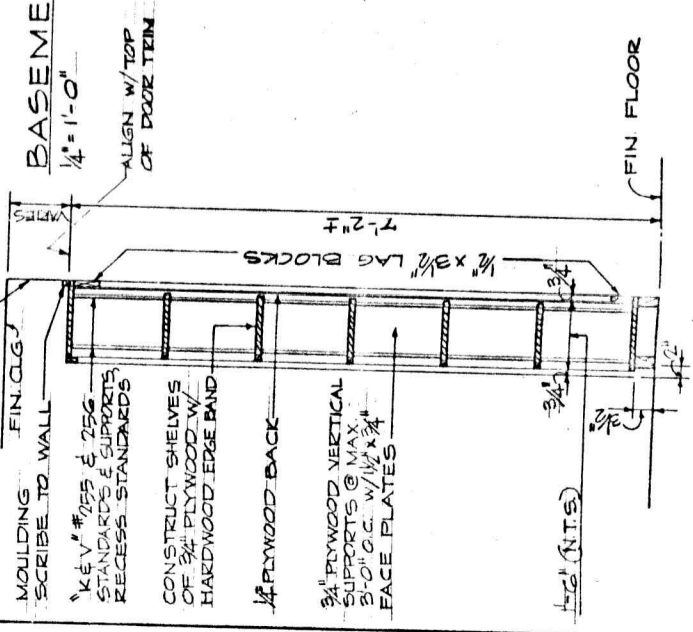
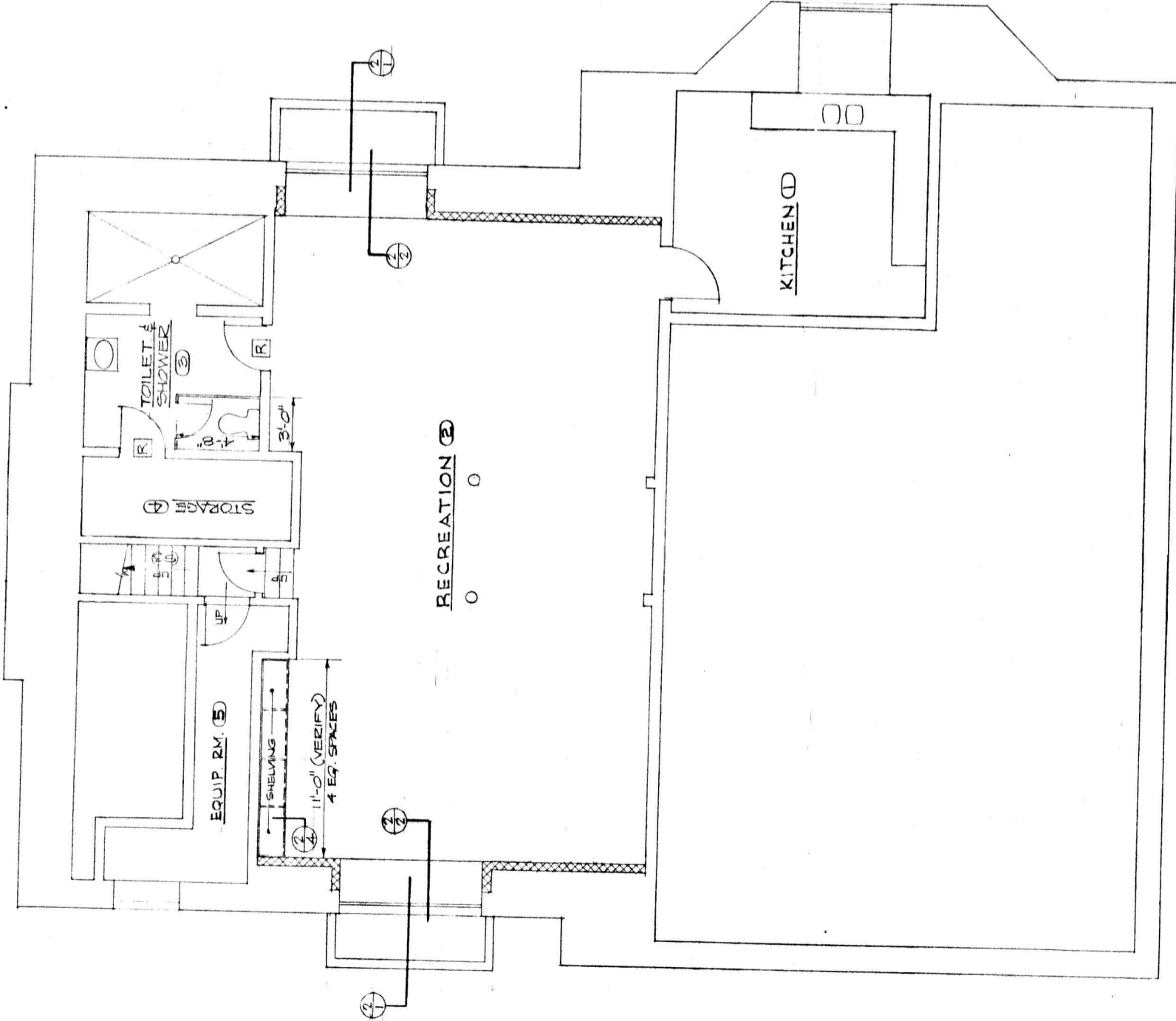
FILL, FEATHER, & TAMP
GRADE AT BUILDING
PERIMETER TO PROVIDE
POSITIVE DRAINAGE AS
SHOWN ON PLAN.
RESEED ALL FILLED AREAS.



PRESBYTERIAN HOME
IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK, HAXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
BASEMENT & FIRST FL. PLANS
NOBLE COTTAGE
2

BASEMENT PLAN - NOBLE COTTAGE
1/4" = 1'-0"



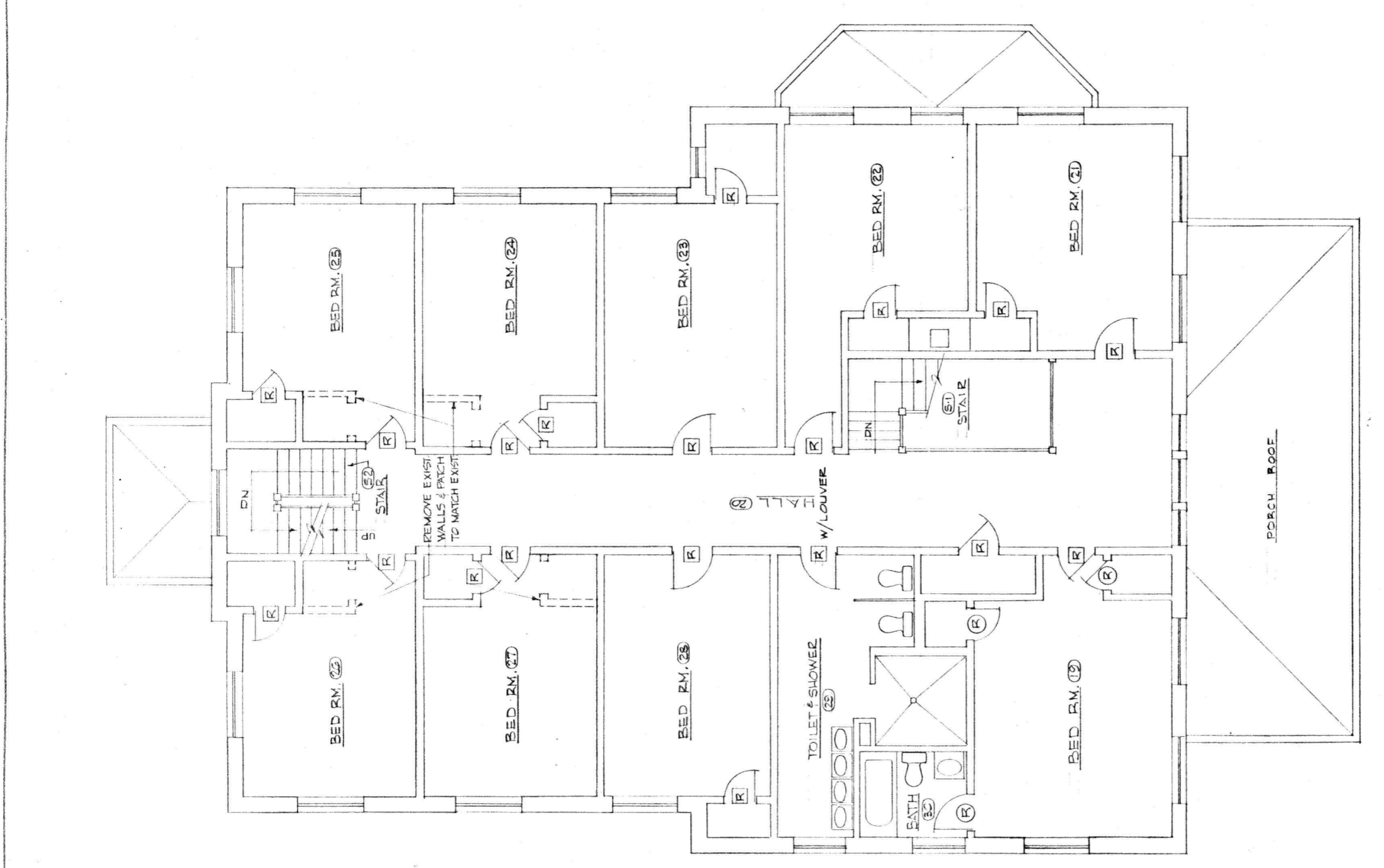
SECTION THRU OPEN SHLVG.
1/4" = 1'-0"

FINISH SCHEDULE

NO.	SPACE NAME	FLOOR	BASE	WALLS	W.COT	CEILING	PERF.	DETAILS	REMARKS
1	Kitchen	C						F	
2	Recreation	C							
3	Toilet - Shower	L		Epoxy					
4	Storage							0	
5	Equip. Room								
6	Living Room	A							
7	Hall	A							
8	Living Room	A							
9	Living Room	A							
10	Bedroom	A							
11	Bath	C.T.	C.T.		3'-6"				6'-0" w'cot at tub
12	Bedroom	A							
13	Hall	A							
14	Bedroom	A							
15	Bedroom	A							
16	Bedroom	A							
17	Toilet & Shower	B	B						
18	Bath	B	B						
19	Bedroom								
20	Hall	A							
21	Bedroom	A							
22	Bedroom	A							
23	Bedroom	A							
24	Bedroom	A							
25	Bedroom	A							
26	Bedroom	A							
27	Bedroom	A							
28	Bedroom	A							
29	Toilet & Shower	B	B						
30	Bath	B	B						
31	Attic								
S-1	Stair								Paint 2 coats P & L Vapev Floor Paint
S-2	Stair								
S-3	Stair								
32	Entry								
33	Porch								

- FINISH SCHEDULE LEGEND**
- A. Remove existing floor cover and shoe mould, clean and level existing hard-wood flooring, set all protruding nails, and install direct glue down carpet.
 - B. Clean all ceramic tile and replace all broken, cracked or missing tiles.
 - C. Remove and replace to match existing, all broken, cracked, loose or missing resilient tiles.
 - D. Remove existing floor tiles. Clean surface and apply original floor and 4" base according to manufacturers recommendations.
 - E. Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base.
 - F. Patch and repair existing sheetrock ceiling as necessary to obtain a smooth surface.
 - G. Attach 1" x 3" furring strips at 16" o.c. to joists with 16d cement coated nails through existing plaster, apply 1/2" sheetrock to furring strips, shim, tape and speckle as per manufacturers recommendations to obtain a smooth surface.
 - H. Clean and paint existing brick walls.
 - I. Remove base, chair rail and picture mold or crown mold. Scrape off loose plaster for smooth finish and apply vinyl wall covering according to manufacturer's recommendations. Replace wood base and existing or new matching crown mold.
 - J. All walls with defective, loose, cracked or peeling plaster shall be scraped, patched or replastered to obtain a smooth finish and painted.
 - K. Replace damaged or stained acoustic tiles with new matching tiles. Repair ceiling grid as necessary and provide new light lenses.
 - L. Clean concrete and paint.
 - M. New walls and patched existing walls shall be 3/8" rib lath on wood studs plastered both sides.
 - N. Scrape, sand or otherwise put in smooth condition and paint.
 - O. Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 4" C.H.U. wall as shown on plans and paint.
 - P. New closet wall, 2 x 4 studs with 1/2" sheetrock each side, extend from floor to underside of existing ceiling.
 - Q. One inch gypsum plaster on metal lath on underside of exposed wood stair and landing.

- GENERAL NOTES**
- ALL WINDOWS:**
 - Remove top and bottom sashes.
 - Clean out all existing loose putty and repoint; replace all broken or cracked glass.
 - Replace all cracked or broken woodwork.
 - Scrape all loose paint from windows and frames and sand as necessary to receive paint finish.
 - Provide storm windows at all first and second floor windows.
 - DOORS AND FRAMES:**
 - Replace: Install new matching paneled door and any necessary new hardware.
 - Repair or replace frame as required. Small "L" indicates lockset.
 - Replace: Install new flush wood door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
 - Repair and refinish: Secure or replace loose members, scrape off loose paint and sand as necessary for paint finish. Replace any defective hardware. Small "L" indicates lockset.
 - FRONT & REAR PORCHES:**
 - Repair floors and other woodwork as necessary. Replace all loose, broken and missing pieces with matching new pickets and stabilize existing pickets. Make out loose caulking at column cracks and recaulk smooth for painting. See drawings for detailed repairs.
 - PIPE INSULATION:**
 - All exposed vertical heating pipes extending from floor to elbow shall be insulated.
 - WINDOW WELLS:**
 - Repair and replace all loose brick. Clean out well, excavate 3 feet below existing bottom and fill with 2 feet of crushed stone. Provide metal grille cover as detailed on the drawings.
 - GUTTERS AND DOWNSPOUTS:**
 - Contractor shall repair, clean out, or replace if missing to match existing, all gutters, conductor heads, downspouts, straps and anchors to assure proper drainage. Replace all defective cast iron boots.
 - STAIR S-2 AND STAIR S-1 AT NOBLE:**
 - Stabilize loose members and rails. Replace loose, broken or missing pickets, furring strips and sheetrock and replace existing tread material with carpet continuous at treads and risers.
 - ROOFS:**
 - Repair all roof leaks and replace all defective flashing and all missing, cracked or loose slates.
 - EXTERIOR WOODWORK:**
 - Repair or replace wood cornices as required; paint same.
 - BRICK WORK:**
 - Point up all exterior brick work as required.
 - PAINTING:**
 - Paint all exterior woodwork, exposed piping and fire escapes and all existing repairs, replaced or new interior surfaces.
 - CONCRETE WINDOW SILL:**
 - Remove existing interior wood window stools. Replace with approximately 3" brick poured concrete stool. See detail on the drawings.



SECOND FLOOR PLAN - NOBLE COTTAGE
1/4" = 1'-0"

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA

PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

NOBLE COTTAGE
SECOND FLOOR PLAN

DATE: 10/15/81
SCALE: AS SHOWN
DRAWING NO.: 3



FINISH SCHEDULE

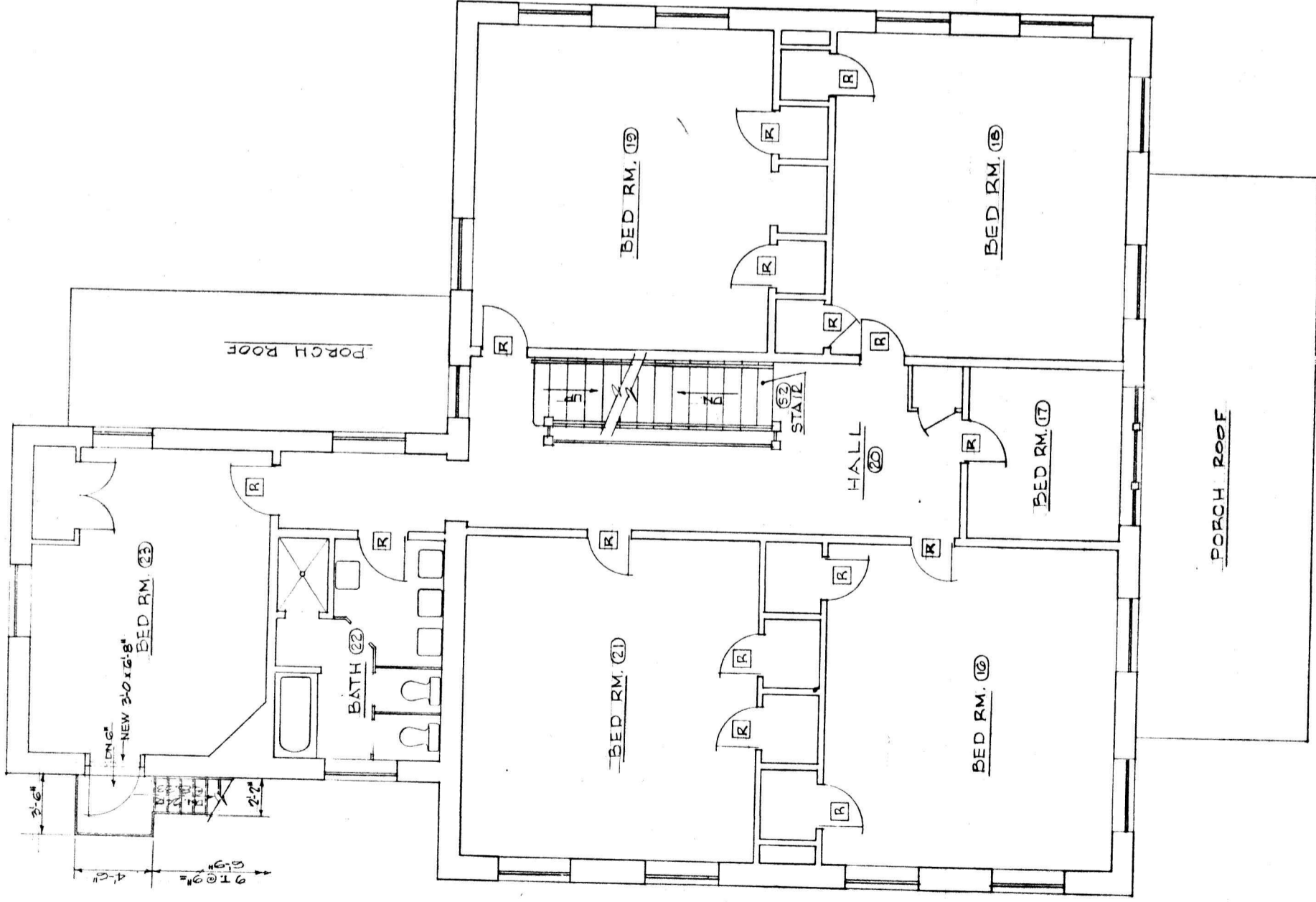
NO.	SPACE NAME	FLOOR	BASE	WALLS	WCOT	CEILING	DETAILS	REMARKS
1	Recreation	D	D	D	D	K		
2	Kitchen	D	D	D	D	F		
3	Laundry	L	L	H	H			Paint 2 coats P & L Veneer Floor Paint
4	Toil - Show	L	L	Epoxy		N		
5	Living Room	A	A	I	I	G		
6	Living Room	A	A	I	I	G		
7	Bedroom	C	C	I	I	G		
8	Bath					N		
9	Storage	C	C	J	J	G		
10	Bath	B	B	J	J	N		
11	Hall	A	A	I	I	G		
12	Television	A	A	I	I	G		
13	Living Room & Bedroom	E	E	I	I	G		
14	Bath	C.T.	C.T.	J	J	C.T.		6"-0" w/cot at tub
15	Closet	A	A	P & J	J	G		
16	Bedroom	A	A	J	J			
17	Bedroom	A	A	J	J	G		
18	Bedroom	A	A	J	J			
19	Bedroom	A	A	J	J			
20	Hall	A	A	I	I			
21	Bedroom	A	A	J	J			
22	Bath	B	B	J	J	N		
23	Bedroom	A	A	J	J			
24	Attic							
25	Porch	SEE GENERAL NOTE NO. 3						
26	Porch	SEE GENERAL NOTE NO. 3						
S-1	Stair							
S-2	Stair	SEE GENERAL NOTE NO. 7						

FINISH SCHEDULE LEGEND

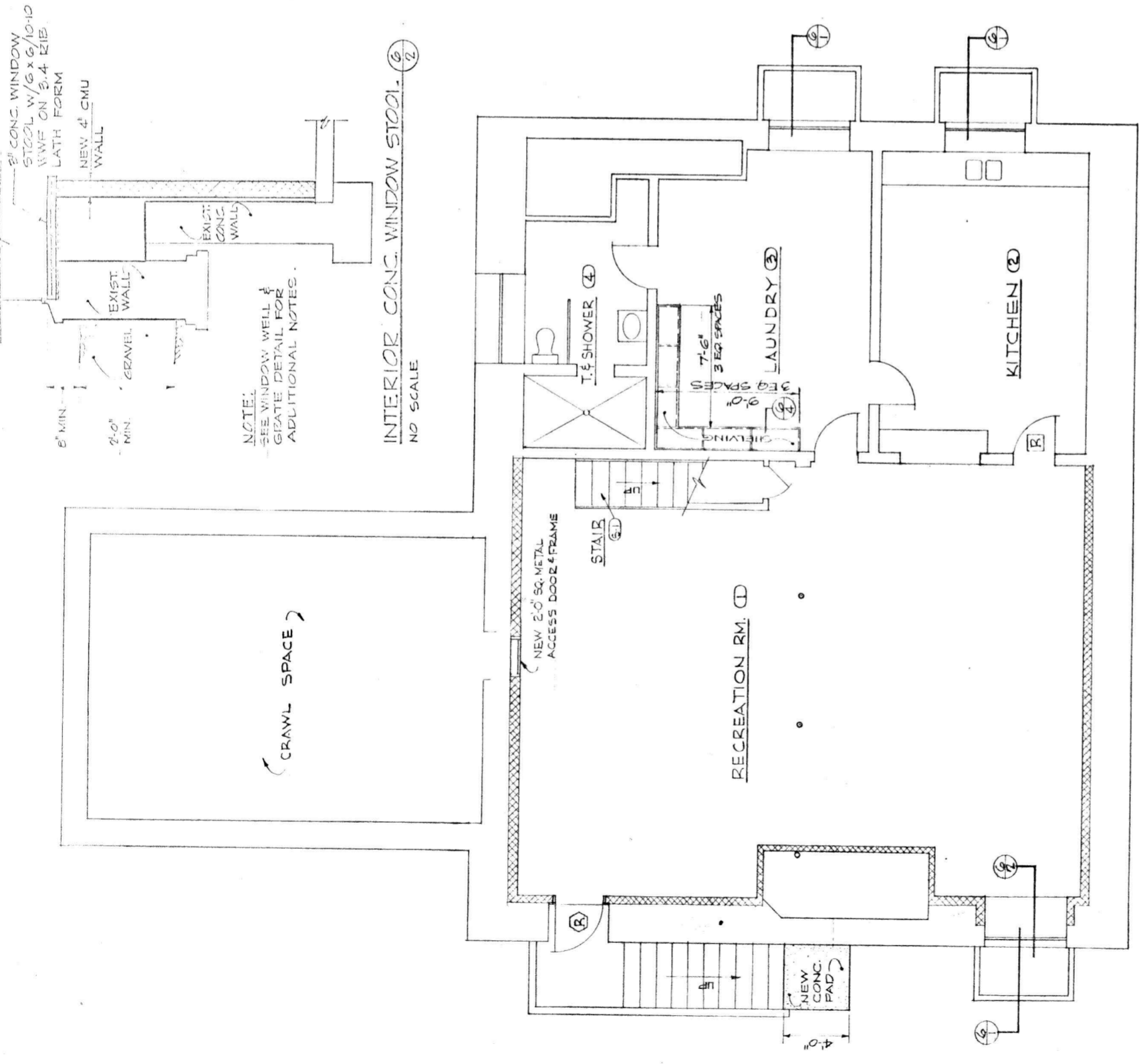
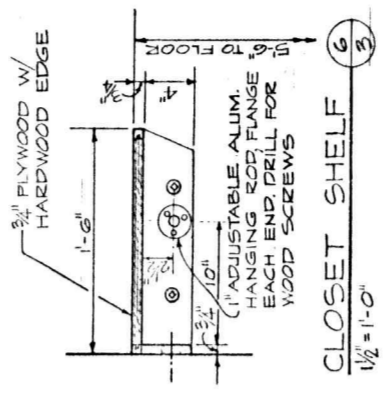
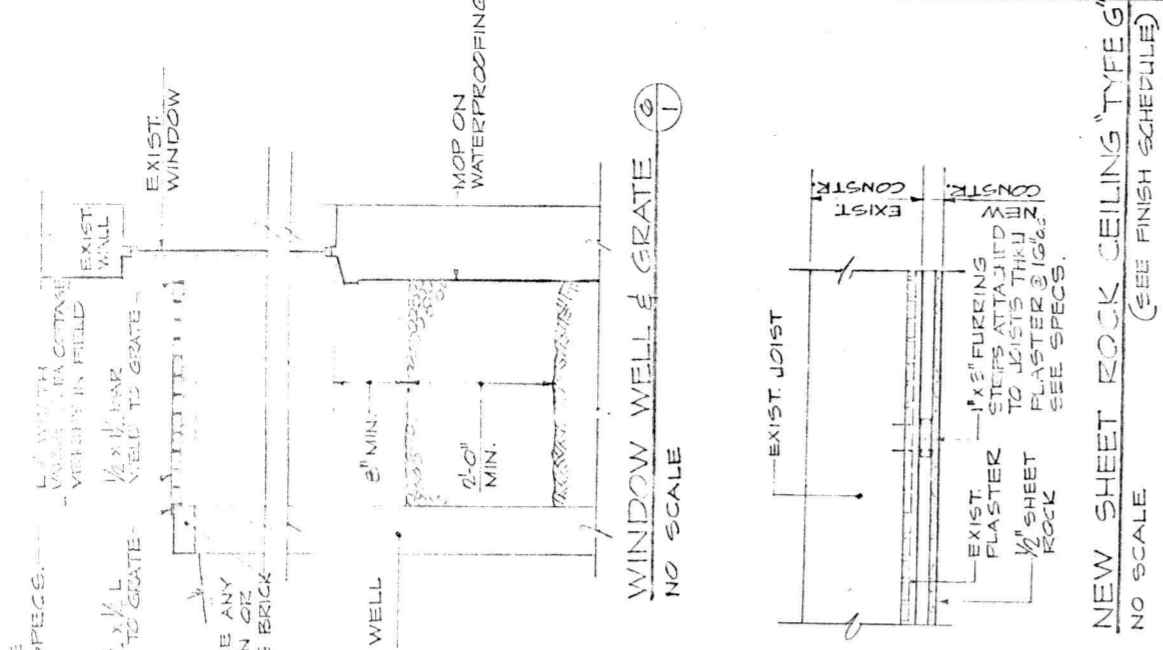
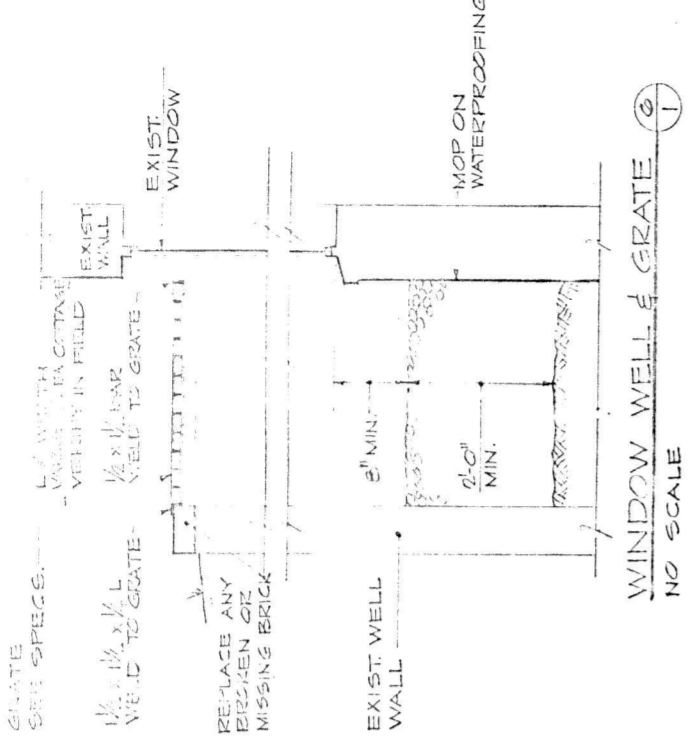
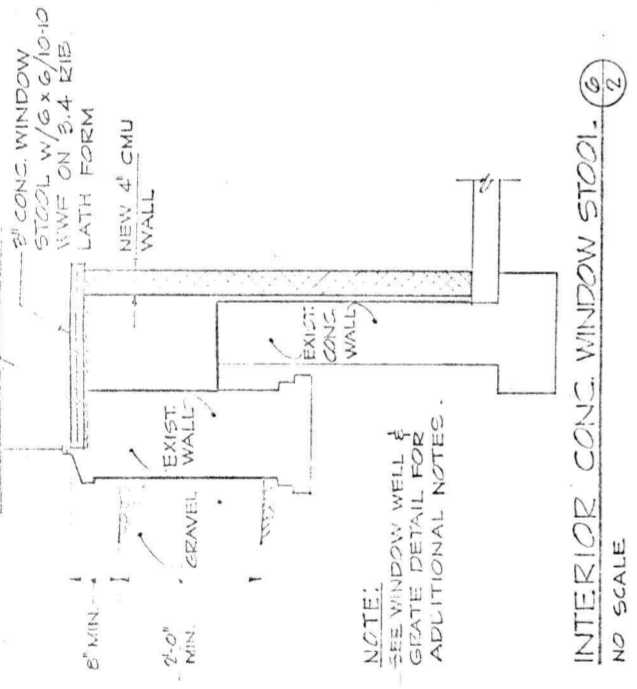
- A. Remove existing floor cover and shoe mould, clean and level existing hard-wood flooring, set all protruding nails, and install direct glue down carpet.
- B. Clean all ceramic tile and replace all broken, cracked or missing tiles.
- C. Remove and replace to match existing, all broken, cracked, loose or missing resilient tiles.
- D. Remove existing floor tiles, clean surface and apply torginal floor and 4" base according to manufacturers recommendations.
- E. Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base, surface.
- F. Patch and repair existing sheetrock ceiling as necessary to obtain a smooth surface.
- G. Attach 1" x 3" furring strips at 16" o.c. to joists with 16d cement coated nails through existing sheetrock. Apply 1/2" sheetrock to furring strips, shim, tape and spackle as per manufacturers recommendations to obtain a smooth surface.
- H. Clean and paint existing brick walls.
- I. Remove base, chair rail and picture mold or crown mold. Scrape off loose plaster for smooth finish and apply vinyl wall covering according to manufacturers recommendations. Replace wood base and existing or new matching crown mold.
- J. All walls with defective, loose, cracked or peeling plaster, shall be scraped, patched or replastered to obtain a smooth finish and painted.
- K. Replace damaged or stained acoustic tiles with new matching tiles. Repair ceiling grid as necessary and provide new light lenses.
- L. Clean concrete and paint.
- M. New walls and patched existing walls shall be 5/8" rib lath on wood studs plastered both sides.
- N. Scrape, sand or otherwise put in smooth condition and paint.
- O. Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 4" C.H.U. wall as shown on plans and paint.
- P. New closet wall, 2 x 4 studs with 1/2" sheetrock each side, extend from floor to underside of existing ceiling.
- Q. One inch gypsum plaster on metal lath on underside of exposed wood stair and landing.

GENERAL NOTES

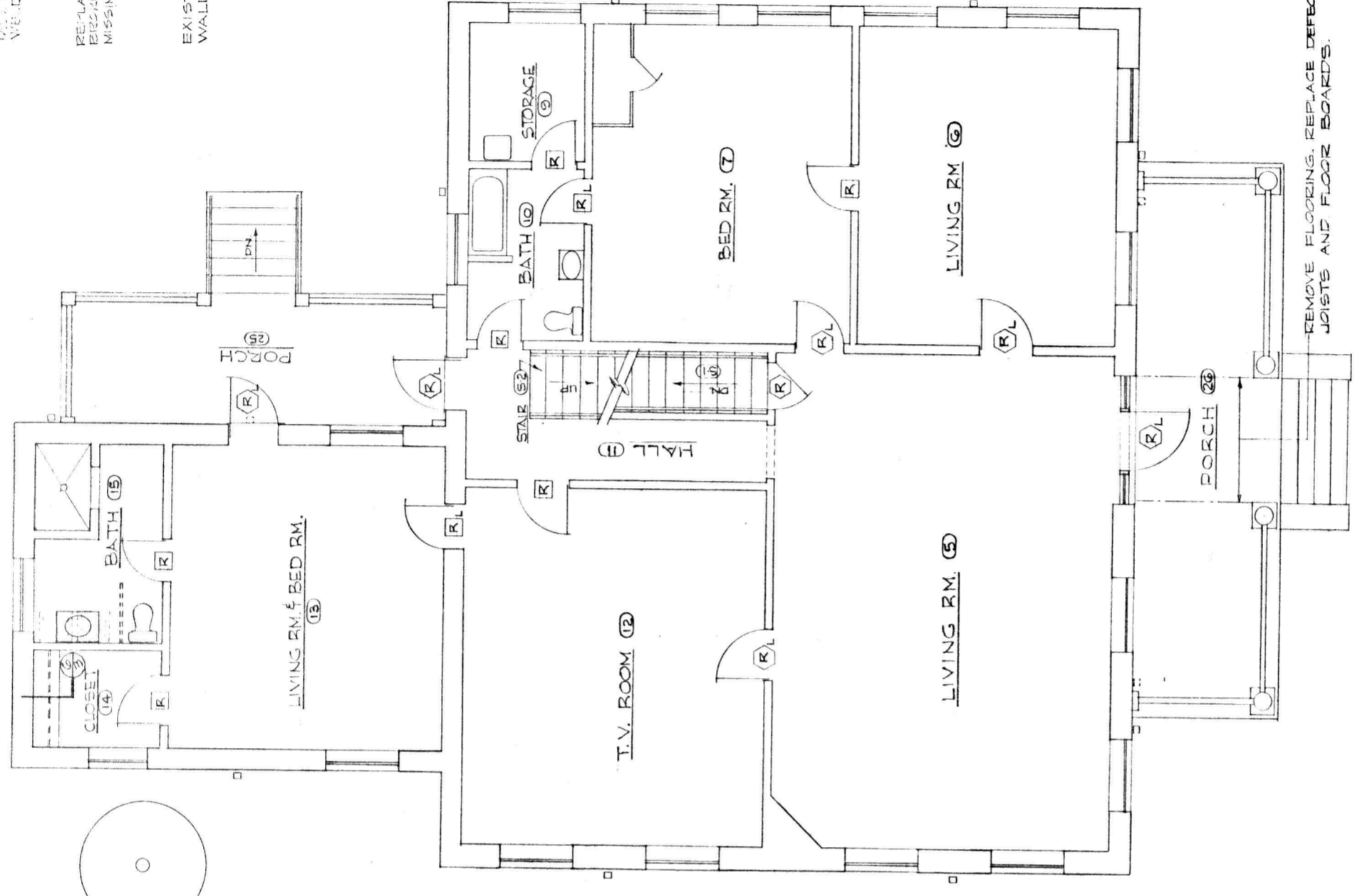
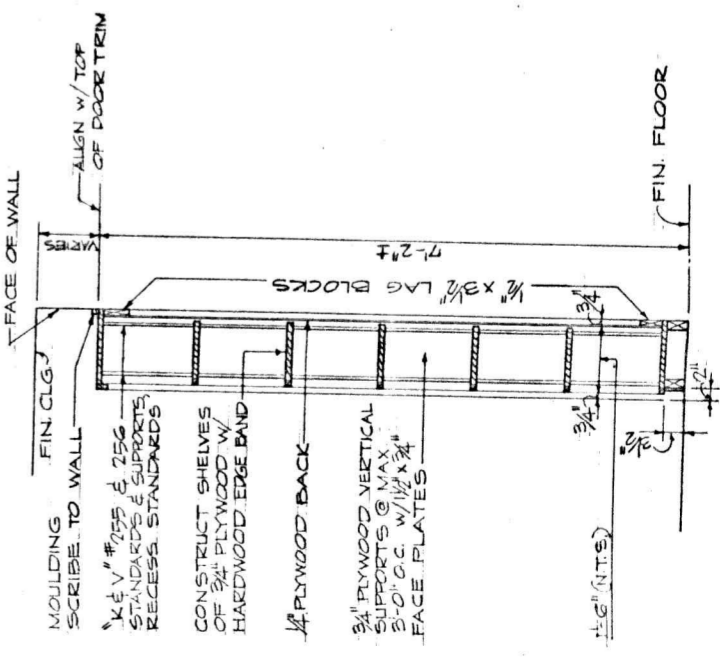
1. **ALL WINDOWS:**
Remove top and bottom sashes. Clean out all existing loose putty and reputty; replace all broken or missing glass. Install new glass cords. Replace all cracked or broken woodwork. Scrape all loose paint from windows and frames and sand as necessary to receive paint finish. Repaint and caulk at window frames and provide storm windows at all first and second floor windows.
2. **DOORS AND FRAMES:**
(R) Replace: Install new matching paneled door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
(L) Replace: Install new flush wood door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
(C) Repair and refinish: Secure or replace loose members, scrape off loose paint surfaces and sand as necessary for paint finish. Replace any defective hardware. Small "L" indicates lockset.
3. **FRONT & REAR PORCHES:**
Repair floors and other woodwork as necessary. Replace all loose, broken and missing pickets with matching new pickets and stabilize loose balusters. Bake out loose caulking at column cracks and recaulk smooth for painting. See drawings for detailed repairs.
4. **PIPE INSULATION:**
All exposed vertical heating pipes extending from floor to elbow shall be insulated.
5. **WINDOW WELLS:**
Repair and replace all loose brick, clean out well, excavate 3 feet below existing bottom and fill with crushed stone. Provide metal grille cover as detailed on the drawings.
6. **GUTTERS AND DOWNSPOUTS:**
Contractor shall repair, clean out, or replace if missing to match existing, all gutters, conductor heads, downspouts, strings and downspouts to assure proper drainage. Replace all defective cast iron boots.
7. **STAIR S-2 AND STAIR S-1 AT NOBLE:**
Stabilize loose newels and rails. Replace loose, broken or missing pickets with new pickets to match existing and replace existing tread material with carpet continuous at treads and risers.
8. **ROOFS:**
Repair all roof leaks and replace all defective flashing and all missing, cracked or loose slates.
9. **EXTERIOR WOODWORK:**
Repair or replace wood cornices as required; paint same.
10. **BRICK WORK:**
Point up all exterior brick work as required.
11. **PAINTING:**
Paint all exterior woodwork, exposed piping and fire escapes and all existing repaired, replaced or new interior surfaces.
12. **CONCRETE WINDOW SDOOLS:**
Remove existing interior wood window stools. Replace with approximately 3" thick poured concrete stool. See detail on the drawings.



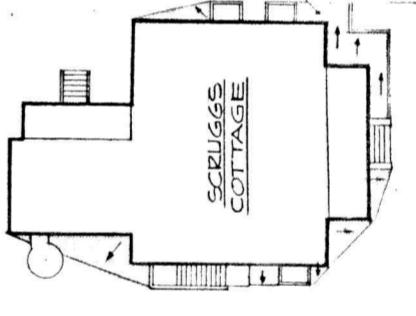
SECOND FLOOR PLAN - PAXTON
1/4" = 1'-0"



BASEMENT PLAN - SCRUGGS
1/4" = 1'-0"



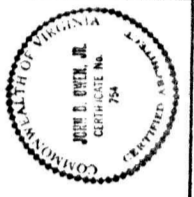
FIRST FLOOR PLAN - SCRUGGS
1/4" = 1'-0"



FILL FEATHER & TAMP GRADE AT BUILDING PERIMETER TO PROVIDE PROPER DRAINAGE AS SHOWN ON PLAN RESEED ALL FILLED AREAS.

REMOVE FLOORING. REPLACE DEFECTIVE JOISTS AND FLOOR BOARDS.

FOR FINISH SCHEDULE, FINISH SCHEDULE LEGEND AND GENERAL NOTES, SEE DRAWING NO. 7



PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

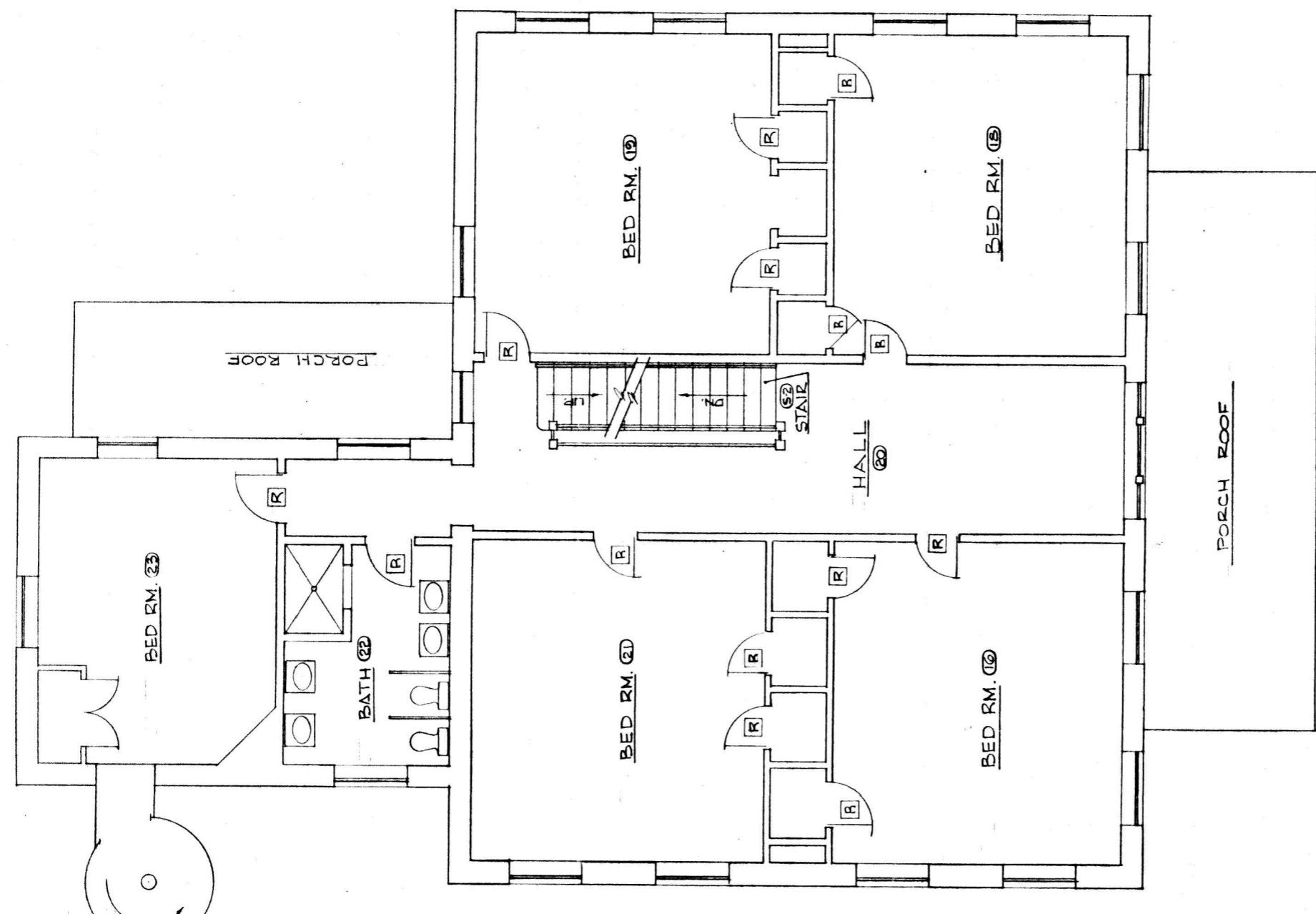
CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
CORPORATE NO. 74
EXPIRES 12/31/2011

BASEMENT & FIRST FL. PLANS
SCRUGGS COTTAGE
DATE 11/11/11
SCALE 1/4" = 1'-0"

SCRUGGS COTTAGE									
SPACE NO.	SPACE NAME	FLOOR	DATE	WALLS	WOOD	CEILING	CEILING HEIGHT	DETAILS	REMARKS
1	Recreation	D	D	0		X			
2	Kitchen	D	D			F			
3	Laundry	D	D			F			
4	Toil - Shower	L			Epoxy	N			
5	Living Room	A			I	G			
6	Living Room	A			I	G			
7	Bedroom	A			I	G			
9	Storage	C			J	G			
10	Bath	B	B	J	B	N			
11	Hall	A			I	G			
12	Television	A			I	G			
13	Living Room & Bedroom	A			I	G			
14	Closet	H			J	G			
15	Bath	B	B	J	B	N			
16	Bedroom	A			J	G			
18	Bedroom	A			J	G			
19	Bedroom	A			J	G			
20	Hall	A			I	G			
21	Bedroom	A			J	G			
22	Bath	B	B	J	B	N			
23	Bedroom	A			J	G			
24	Attic								
25	Porch	SEE GENERAL NOTE N.O. 3							
26	Porch	SEE GENERAL NOTE N.O. 3							
S-1	Stair	SEE GENERAL NOTE N.O. 7							
S-2	Stair	SEE GENERAL NOTE N.O. 7							

- GENERAL NOTES:**
- ALL WINDOWS:** Remove top and bottom sashes. Clean out all existing loose putty and repoint; replace all broken or cracked glass with new glass. Install new sash cords. Replace all cracked or broken woodwork. Scrape all loose paint from windows and frames and sand as necessary. Provide storm windows at all first and second floor windows.
 - DOORS AND FRAMES:**
 - (R) Replace: Install new matching paneled door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
 - (R) Replace: Install new flush wood door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
 - (R) Repair and refinish: Secure or replace loose members; scrape off rough paint surfaces and sand as necessary for better finish. Replace any defective hardware. Small "L" indicates lockset.
 - FRONT & REAR PORCHES:** Repair floors and other woodwork as necessary - Replace all loose, broken and missing pickets with matching new pickets and stabilize loose balusters. Repair columns, columns cracks and recaulk smooth for painting. See drawings for detailed repairs.
 - PIPE INSULATION:** All exposed vertical heating pipes extending from floor to elbow shall be insulated.
 - WINDOW WELLS:** Repair and replace all loose brick, clean out well, excavate 3 feet below existing bottom and fill with 2 feet of crushed stone. Provide metal grille cover as detailed on the drawings.
 - GUTTERS AND DOWNSPOUTS:** Contractor shall repair, clean out, or replace if missing to match existing, all gutters, conductor heads, and downspouts and anchors to assure proper drainage. Replace all defective cast iron boots.
 - STAIR S-2 AND STAIR S-1 AT MOBILE:** Stabilize loose newels and rails. Replace loose, broken or missing pickets with new pickets to match existing and replace existing tread material with carpet continuous at treads and risers.
 - ROOFS:** Repair all roof leaks and replace all defective flashing and all missing, cracked or loose slates.
 - EXTERIOR WOODWORK:** Repair or replace wood cornices as required; paint same.
 - BRICK WORK:** Point up all exterior brick work as required.
 - PAINTING:** Paint all exterior woodwork, exposed piping and fire escapes and all existing repaired, replaced or new interior surfaces.
 - CONCRETE WINDOW STOOLS:** Remove existing interior wood window stools. Replace with approximately 3" thick poured concrete stool. See detail on the drawings.

- FINISH SCHEDULE LEGEND**
- Remove existing floor cover and shoe mould, clean and level existing hardwood flooring, set all protruding nails, and install direct glue down carpet.
 - Clean all ceramic tile and replace all broken, cracked, loose or missing resilient tiles.
 - Remove existing floor tiles, clean surface and apply original floor and 4" base according to manufacturers recommendations.
 - Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base.
 - Patch and repair existing sheetrock ceiling as necessary to obtain a smooth surface.
 - Attach 1" x 3" furring strips at 16" o.c. to joists with 16d cement coated nails. Apply existing plaster, apply 1/2" sheetrock to furring strips, shim, tape and spackle as per manufacturers recommendations to obtain a smooth surface.
 - Clean and paint existing brick walls.
 - Remove base, chair rail and picture mould or crown mold. Scrape off loose plaster for smooth finish and apply vinyl wall covering according to manufacturer's recommendations. Replace wood base and existing or new matching crown mold.
 - All walls with defective, loose, cracked or peeling plaster shall be scraped, patched or replastered to obtain a smooth finish and painted.
 - Replace damaged or stained acoustic tiles with new matching tiles. Repair ceiling grid as necessary and provide new light lenses.
 - Clean concrete and paint.
 - New walls and patched existing walls shall be 3/8" rib lath on wood studs plastered both sides.
 - Scrape, sand or otherwise put in smooth condition and paint.
 - Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 4" C.M.U. wall as shown on plans and paint.
 - New closet wall, 2 x 4 studs with 1/2" sheetrock each side, extend from floor to underside of existing ceiling.
 - One inch gypsum plaster on metal lath on underside of exposed wood stair and landing.



SECOND FLOOR PLAN - SCRUGGS
1/4" = 1'-0"

FINISH SCHEDULE

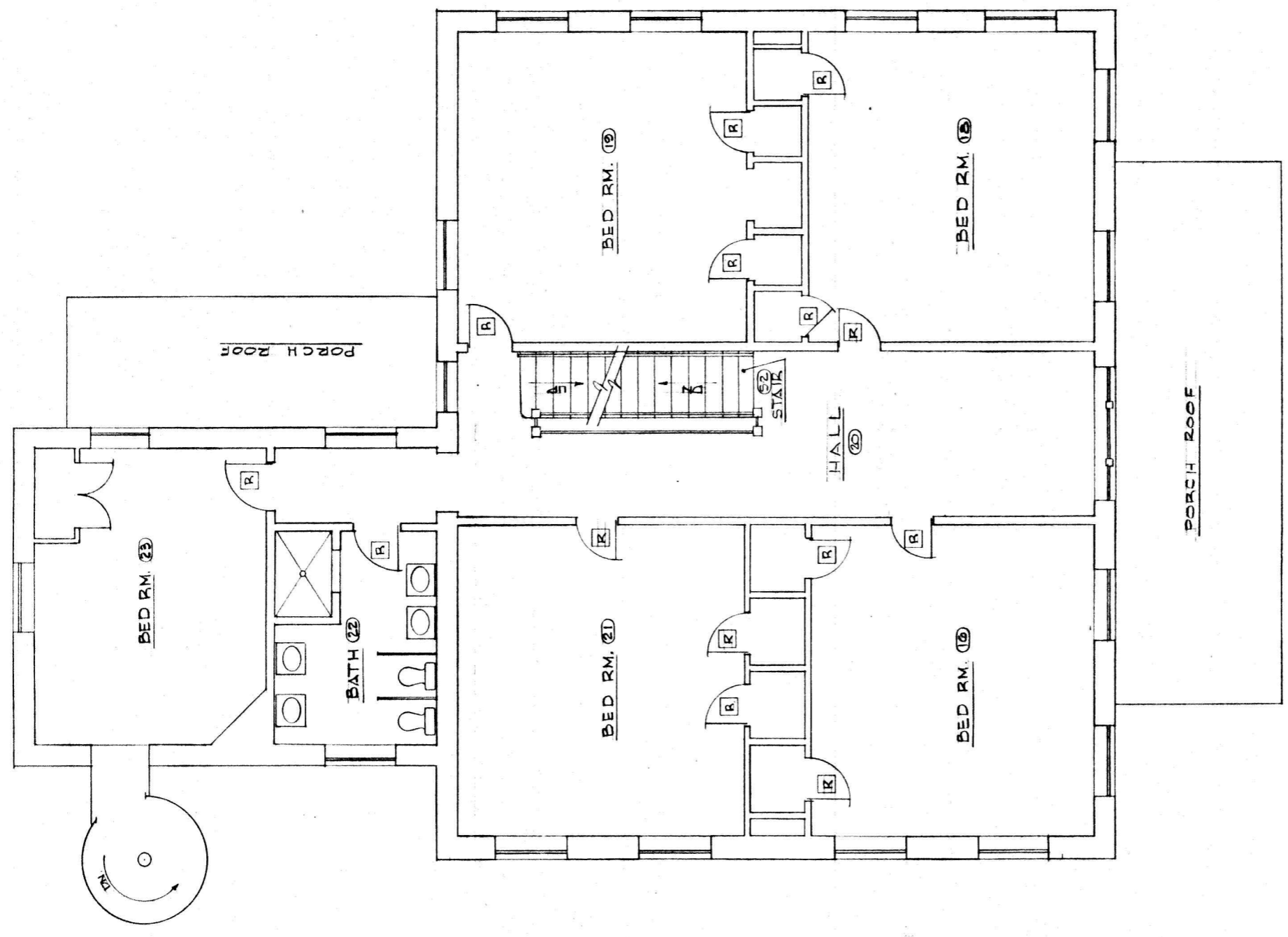
SPACE NO.	SPACE NAME	FLOOR	BASE	WALLS	WOOD	CEILING	CEILING HEIGHT
1	Recreation	D	D	0		K	
2	Kitchen	D	D			F	
3	Laundry	D	D			F	
4	Toil - Shower	L		Epoxy		N	
5	Storage						
6	Living Room	A		I		G	
7	Living Room	A		I		G	
8	Bedroom	A		I		G	
9	Kitchen	C		J		G	
10	Bath	B		J		N	
11	Hall	A		I		G	
12	Television	A		I		G	
13	Living Room	A		I		G	
14	Bath	B		J		N	
15	Dressing & Closet	A		P, J		G	
16	Bedroom	A		J		G	
17	Bedroom	A		J		G	
18	Bedroom	A		J		G	
19	Bedroom	A		J		G	
20	Hall	A		I		G	
21	Bedroom	A		J		G	
22	Bath	B		J		N	
23	Bedroom	A		J		G	
24	Attic						
25	Porch						
26	Porch						
S-1	Stair						
S-2	Stair						

FINISH SCHEDULE LEGEND

- A. Remove existing floor cover and shoe mould. Clean and level existing hardwood flooring, set all protruding nails, and install direct glue down carpet.
- B. Clean all ceramic tile and replace all broken, cracked or missing tiles.
- C. Remove and replace to match existing, all broken, cracked, loose or missing resilient tiles.
- D. Remove existing floor tiles. Clean surface and apply original floor and 4" base according to manufacturers recommendations.
- E. Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base. Patch and repair existing sheetrock ceiling as necessary to obtain a smooth surface.
- F. Attach 1" x 3" furring strips at 16" o.c. to joists with 16d cement coated nails through existing plaster, apply 1/2" sheetrock to furring strips, scribe, tape and spackle as per manufacturers recommendations to obtain a smooth surface.
- G. Clean and paint existing brick walls.
- H. Remove base, chair rail and picture mold or crown mold. Scrape off loose plaster for smooth finish and apply vinyl wall covering according to manufacturers recommendations. Replace wood base and existing or new matching crown mold.
- I. All walls with defective, loose, cracked or peeling plaster shall be scraped, patched or replastered to obtain a smooth finish and painted.
- J. Replace damaged or stained acoustic tiles with new matching tiles. Repair ceiling grid as necessary and provide new light lenses.
- K. Clean concrete and paint.
- L. New walls and patched existing walls shall be 3/8" rib lath on wood studs plastered both sides.
- M. Scrape, sand or otherwise put in smooth condition and paint.
- N. Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 4" C.R.U. wall as shown on plans and paint.
- O. New closet wall, 2 x 4 studs with 1/2" sheetrock each side, extend from floor to underside of existing ceiling.
- P. One inch gypsum plaster on metal lath on underside of exposed wood stair and landing.

GENERAL NOTES

1. **ALL WINDOWS:**
Remove top and bottom sashes. Clean out all existing loose putty and repoint; replace all broken or cracked glass. Install new sash cords. Replace all cracked or broken woodwork. Seal all cracks and joints from windows and frames and sand as necessary to receive paint finish. Raise out existing caulking at window frames and replace with new caulking. Provide storm windows at all first and second floor windows.
2. **DOORS AND FRAMES:**
(R) Replace: Install new matching paneled door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
(R) Replace: Install new flush wood door and any necessary new hardware. Repair or replace frame as required. Small "L" indicates lockset.
(R) Repair and refinish: Secure or replace loose members, scrape off rough paint surfaces and sand as necessary for paint finish. Replace any defective hardware. Small "L" indicates lockset.
3. **FRONT & REAR PORCHES:**
Repair floors and other woodwork as necessary. Replace all loose, broken and missing pickets with matching new pickets and stabilize loose balusters. Repoint and resurface masonry and resculk smooth for painting. See drawings for detailed repairs.
4. **PIPE INSULATION:**
All exposed vertical heating pipes extending from floor to elbow shall be insulated.
5. **WINDOW WELLS:**
Repair and replace all loose brick, clean out well, excavate 3 feet below existing bottom and fill with 2 feet of crushed stone. Provide metal grille cover as detailed on the drawings.
6. **BUTTERS AND DOWNSPOUTS:**
Contractor shall repair, clean out, or replace if missing to match existing all gutters, downspouts and roof hangers. Replace all defective cast iron boots to assure proper drainage.
7. **STAIR S-2 AND STAIR S-1 AT NOBLE:**
Stabilize loose newels and rails. Replace loose, broken or missing pickets with new pickets to match existing and replace existing tread material with carpet continuous at treads and risers.
8. **ROOFS:**
Repair all roof leaks and replace all defective flashing and all missing, cracked or loose slates.
9. **EXTERIOR WOODWORK:**
Repair or replace wood cornices as required; paint same.
10. **BRICK WORK:**
Point up all exterior brick work as required.
11. **PAINTING:**
Paint all exterior woodwork, exposed piping and fire escapes and all existing repaired, replaced or new interior surfaces.
12. **CONCRETE WINDOW SILL:**
Remove existing interior wood window stools. Replace with approximately 3" thick poured concrete stool. See detail on the drawings.

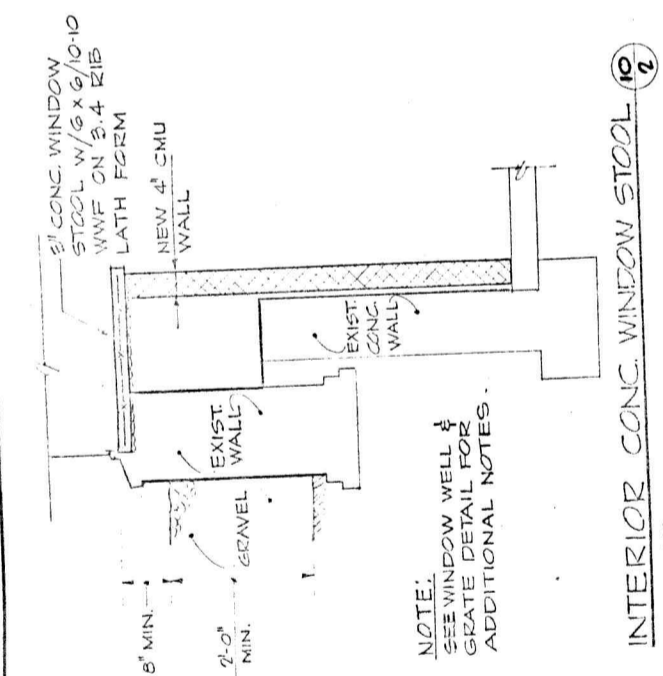


SECOND FLOOR PLAN - CASKIE
1/4" = 1'-0"



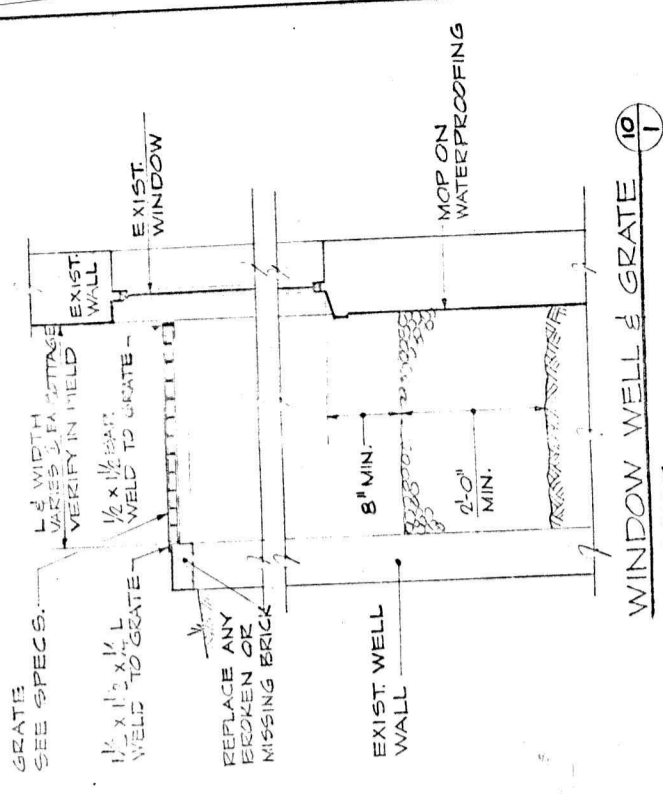
PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
NORFOLK, VIRGINIA
REVISED
SECOND FLOOR PLAN
CASKIE COTTAGE
DRAWN BY: C. B. J. S. P. J. 1971
CHECKED BY: S. P. J. 1971

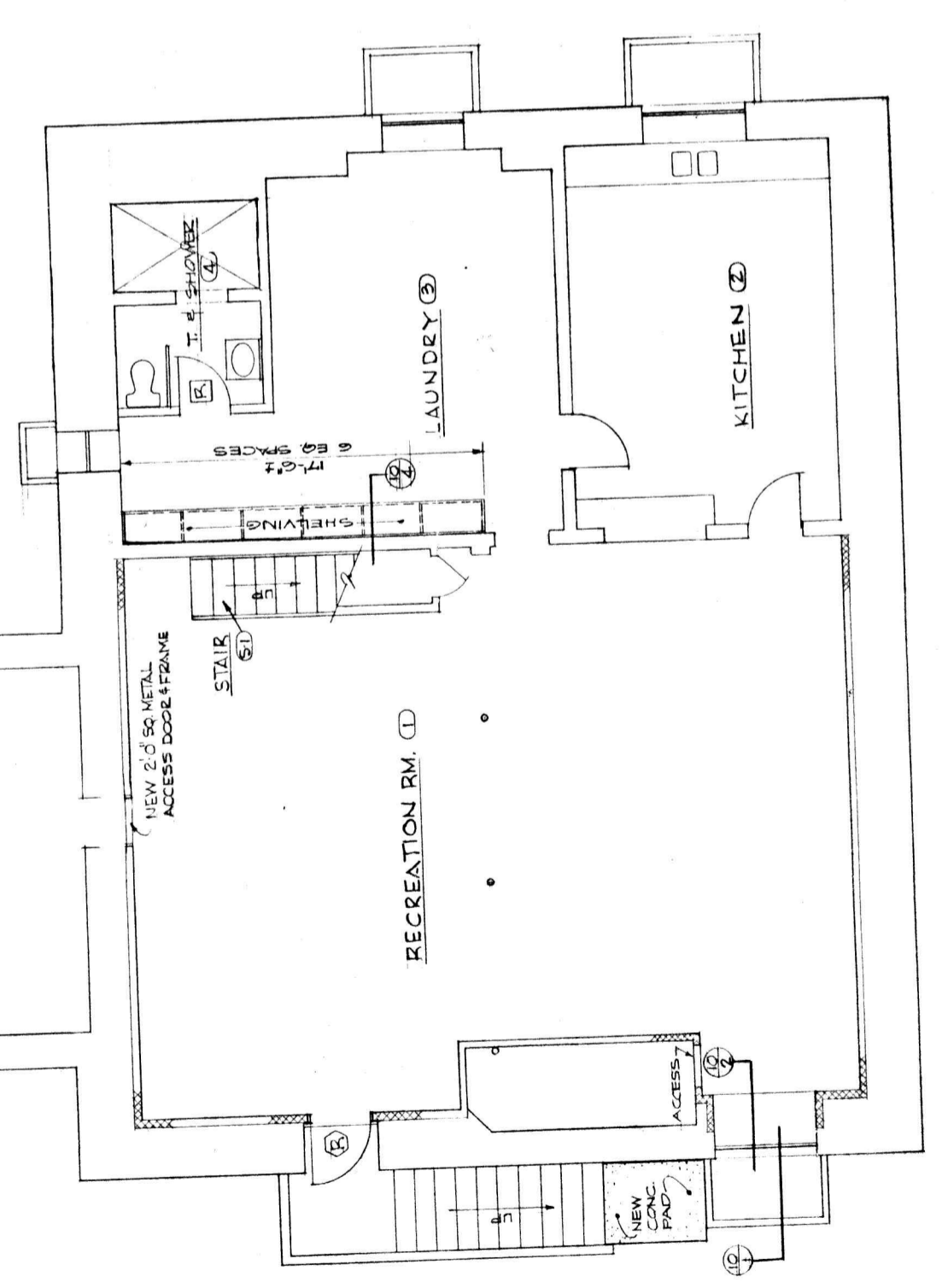


NOTE:
SEE WINDOW WELL &
GRATE DETAIL FOR
ADDITIONAL NOTES.

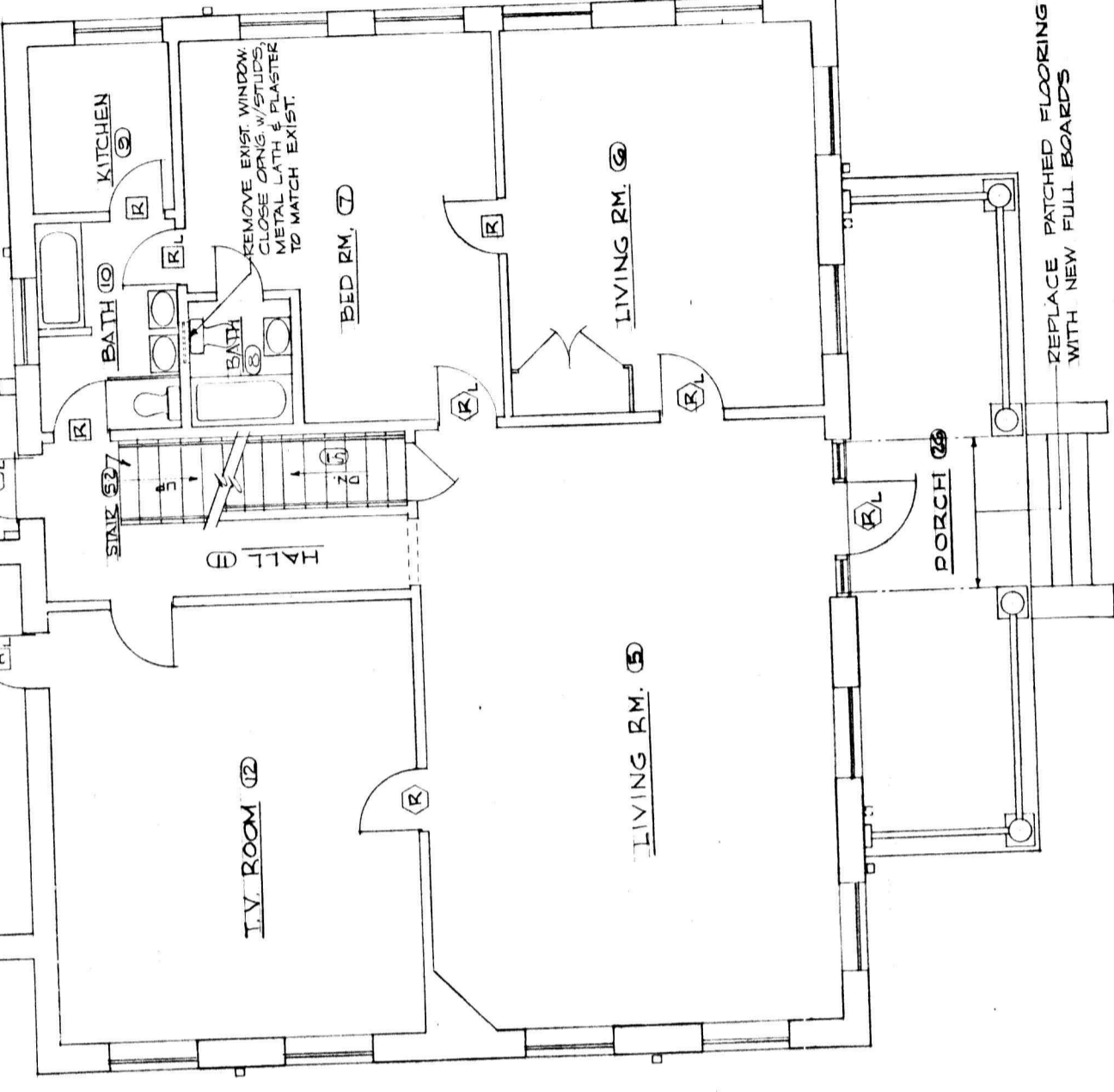
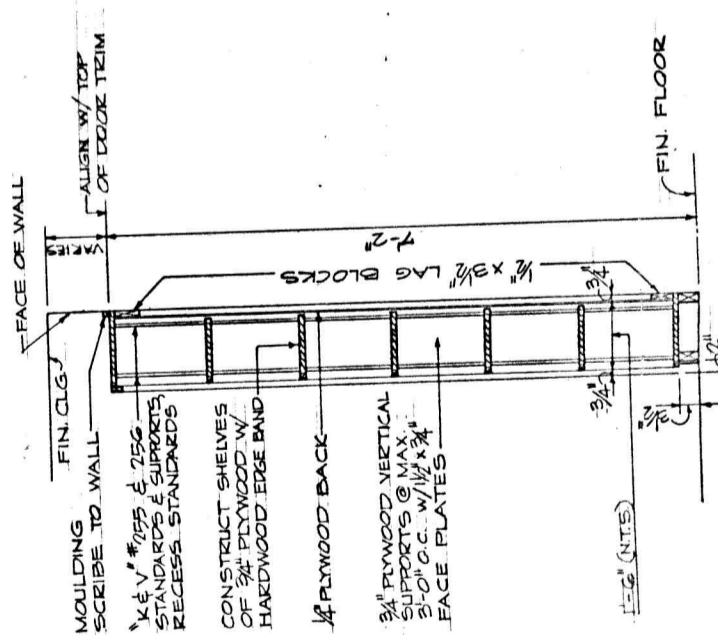
INTERIOR CONC. WINDOW STOOL
NO SCALE



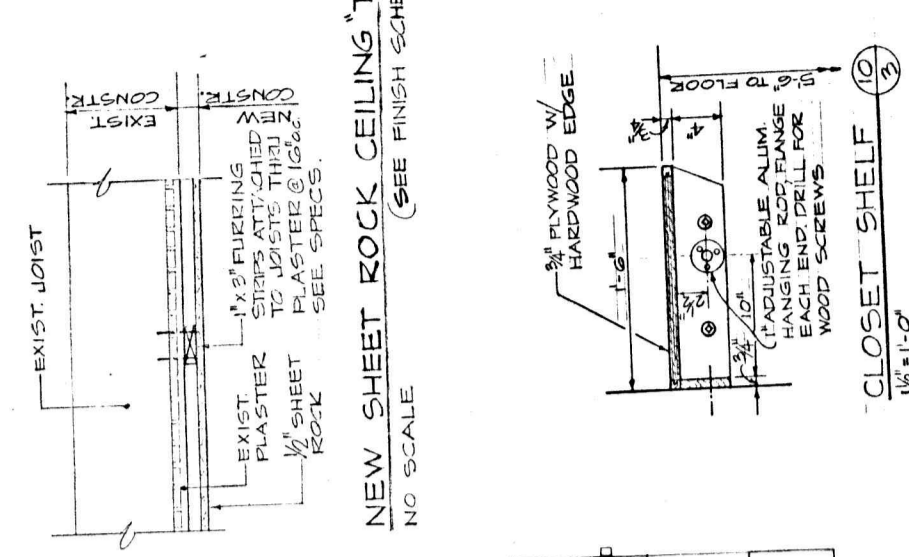
WINDOW WELL & GRATE
NO SCALE



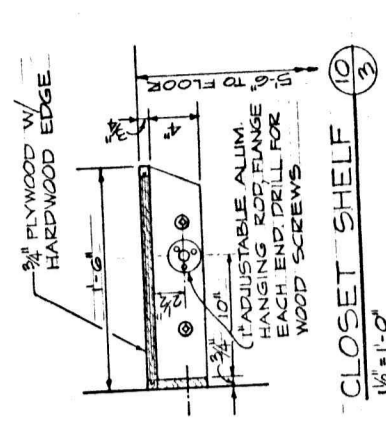
BASEMENT PLAN - SHELTON
1/4" = 1'-0"



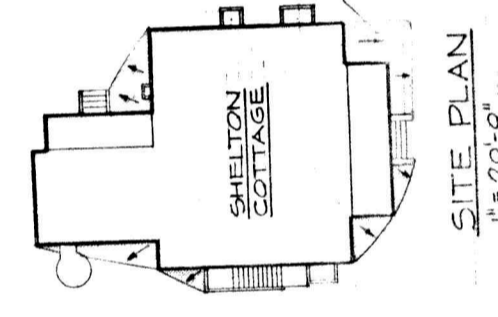
FIRST FLOOR PLAN - SHELTON
1/4" = 1'-0"



NEW SHEET ROCK CEILING "TYPE G"
NO SCALE (SEE FINISH SCHEDULE)



CLOSET SHELF
1/4" = 1'-0"



FILL, FEATHER & TAMP GRADE AT BUILDING PERIMETER. PROVIDE PROPER DRAINAGE AS SHOWN ON PLAN. RESEED ALL FILLED AREAS.

FOR FINISH SCHEDULE, FINISH SCHEDULE LEGEND AND GENERAL NOTES, SEE DRAWING N-11

CLARK NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
PRESBYTERIAN HOME IMPROVEMENTS
SHELTON COTTAGE
LYNCHBURG, VIRGINIA

REVISIONS
NO. 10
DATE 12/21/21
BY [signature]

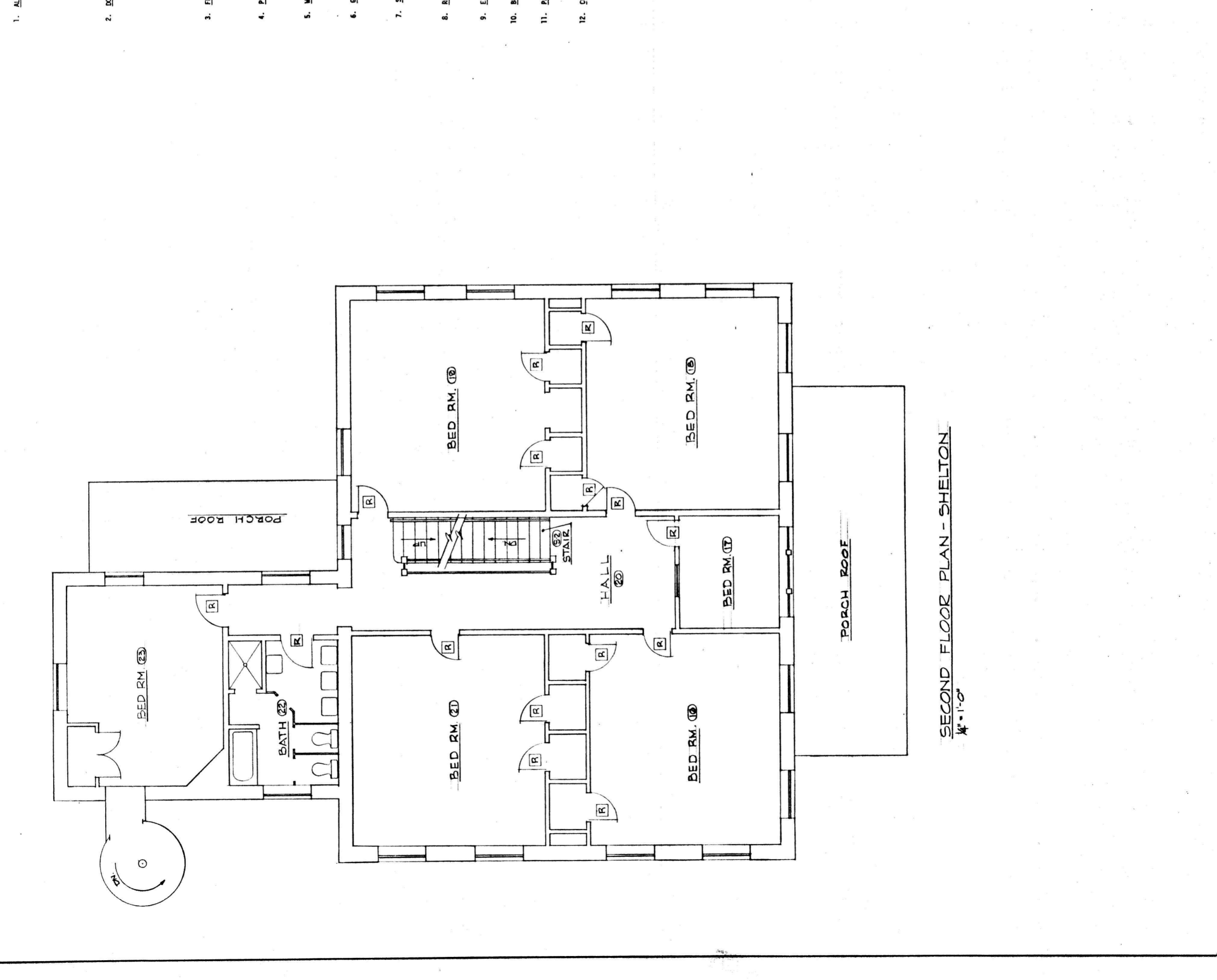


FINISH SCHEDULE

SPACE NO.	SPACE NAME	FLOOR	BASE	WALLS	W/DOOR	CEILING	HEIGHT	DETAILS	REMARKS
1	Recreation	D	D	D	D	K			
2	Kitchen	D	D	D	D	F			
3	Laundry	D	D	D	D	F			
4	Toil-Shw'r	L		Epoxy		N			
5	Living Room	A		I		G			
6	Living Room	A		I		G			
7	Bedroom	A		I		G			
8	Bath								
9	Kitchen	C		J		G			
10	Bath	B	B	J	B	N			
11	Hall	A		I		G			
12	Television								
13	Living Room								
14	Bath	C.T.	C.T.	J	3'-6"	N			6"-0" w/foot at tub
15	Dressing & Closet	A		P & J		G			
16	Bedroom	A		J		G			
17	Bedroom	A		J		G			
18	Bedroom	A		J		G			
19	Bedroom	A		J		G			
20	Hall	A		I		G			
21	Bedroom	A		J		G			
22	Bath	B	B	J	B	N			
23	Bedroom	A		J		G			
24	Attic								
25	Porch								SEE GENERAL NOTE NO. 3
26	Porch								SEE GENERAL NOTE NO. 3
S-1	Stair								
S-2	Stair								SEE GENERAL NOTE NO. 7

- GENERAL NOTES**
- ALL WINDOWS:**
 - Remove top and bottom sashes.
 - Clear out all existing loose putty and reputty; replace all broken or cracked glass.
 - Install new sash cords.
 - Replace all cracked or broken weatherstripping.
 - Remove weatherstripping from windows and frames and sand as necessary to receive paint finish.
 - Rake out existing caulking at window frames and replace with new caulking.
 - Provide storm windows at all first and second floor windows.
 - DOORS AND FRAMES:**
 - (R)** Replace: Install new matching paneled door and any necessary new hardware.
 - Repair or replace frame as required. Small "L" indicates lockset.
 - (I)** Replace: Install new flush wood door and any necessary new hardware.
 - Repair or replace frame as required. Small "L" indicates lockset.
 - (B)** Repair and refinish: Secure or replace loose members, scrape off rough paint surfaces and sand as necessary for paint finish. Replace any defective hardware. Small "L" indicates lockset.
 - FRONT & REAR PORCHES:**
 - Repair floors and other woodwork as necessary - Replace all loose, broken and missing pickets with matching new pickets and stabilize loose bases - Replace all rotten wood with new wood - Prime, stain and finish with exterior painting. See drawings for detailed repairs.
 - PIPE INSULATION:**
 - All exposed vertical heating pipes extending from floor to elbow shall be insulated.
 - WINDOW WELLS:**
 - Repair and replace all loose brick, clean out well, excavate 3 feet below existing bottom and fill with 2 feet of crushed stone. Provide metal grille cover as detailed on the drawings.
 - GUTTERS AND DOWNSPOUTS:**
 - Contractor shall repair, clean out, or replace if missing to match existing gutters and downspouts to head, downspouts, struts and anchors to assure proper drainage. Replace all defective cast iron boots.
 - STAIR S-2 AND STAIR S-1 AT MOBILE:**
 - Stabilize loose newels and rails. Replace loose, broken or missing pickets with new pickets to match existing and replace existing tread material with carpet continuous at treads and risers.
 - ROOFS:**
 - Repair all roof leaks and replace all defective flashing and all missing, cracked or loose shingles.
 - EXTERIOR WOODWORK:**
 - Repair or replace wood cornices as required; paint same.
 - BRICK WORK:**
 - Point up all exterior brick work as required.
 - PAINTING:**
 - Paint all exterior woodwork, exposed piping and fire escapes and all existing repaired, replaced or new interior surfaces.
 - CONCRETE WINDOW SDOOLS:**
 - Remove existing interior wood window stools. Replace with approximately 3" thick poured concrete stool. See detail on the drawings.

- FINISH SCHEDULE LEGEND**
- Remove existing floor cover and shoe mould, clean and level existing hard-wood flooring, set all protruding nails, and install direct glue down carpet.
 - Clean all ceramic tile and replace all broken, cracked or missing tiles.
 - Remove and replace to match existing, all broken, cracked, loose or missing resilient tiles.
 - Remove existing floor tiles, clean surface and apply torginal floor and 4" base according to manufacturer's recommendations.
 - Remove existing floor cover, base and hardwood floor. Cover entire sub-floor with 3/4" plywood and surface with direct glue down carpet. Replace wood base.
 - Patch and repair existing sheetrock ceiling as necessary to obtain a smooth surface.
 - Attach 1" x 3" furring strips at 16" o.c. to joists with 16d cement coated nails through existing sheetrock. Apply sheetrock, prime, stain, tape and spackle as per manufacturer's recommendations to obtain a smooth surface.
 - Clean and paint existing brick walls.
 - Remove base, chair rail and picture mold or crown mold. Scrape off loose plaster for smooth finish and apply vinyl wall covering according to manufacturer's recommendations. Replace wood base and existing or new matching crown mold.
 - All walls with defective, loose, cracked or peeling plaster shall be scraped, patched or replastered to obtain a smooth finish and painted.
 - Replace damaged or stained acoustic tiles with new matching tiles. Repair ceiling grids as necessary and provide new light lenses.
 - Clean concrete and paint.
 - New walls and patched existing walls shall be 3/8" rib lath on wood studs plastered both sides.
 - Scrape, sand or otherwise put in smooth condition and paint.
 - Remove existing wood paneling, 2 x 4 studs, furring strips and wood base. Replace with 4" C.M.U. wall as shown on plans and paint.
 - New closet wall, 2 x 4 studs with 1/2" sheetrock each side, extend from floor to underside of existing ceiling.
 - One inch gypsum plaster on metal lath on underside of exposed wood stair and landing.



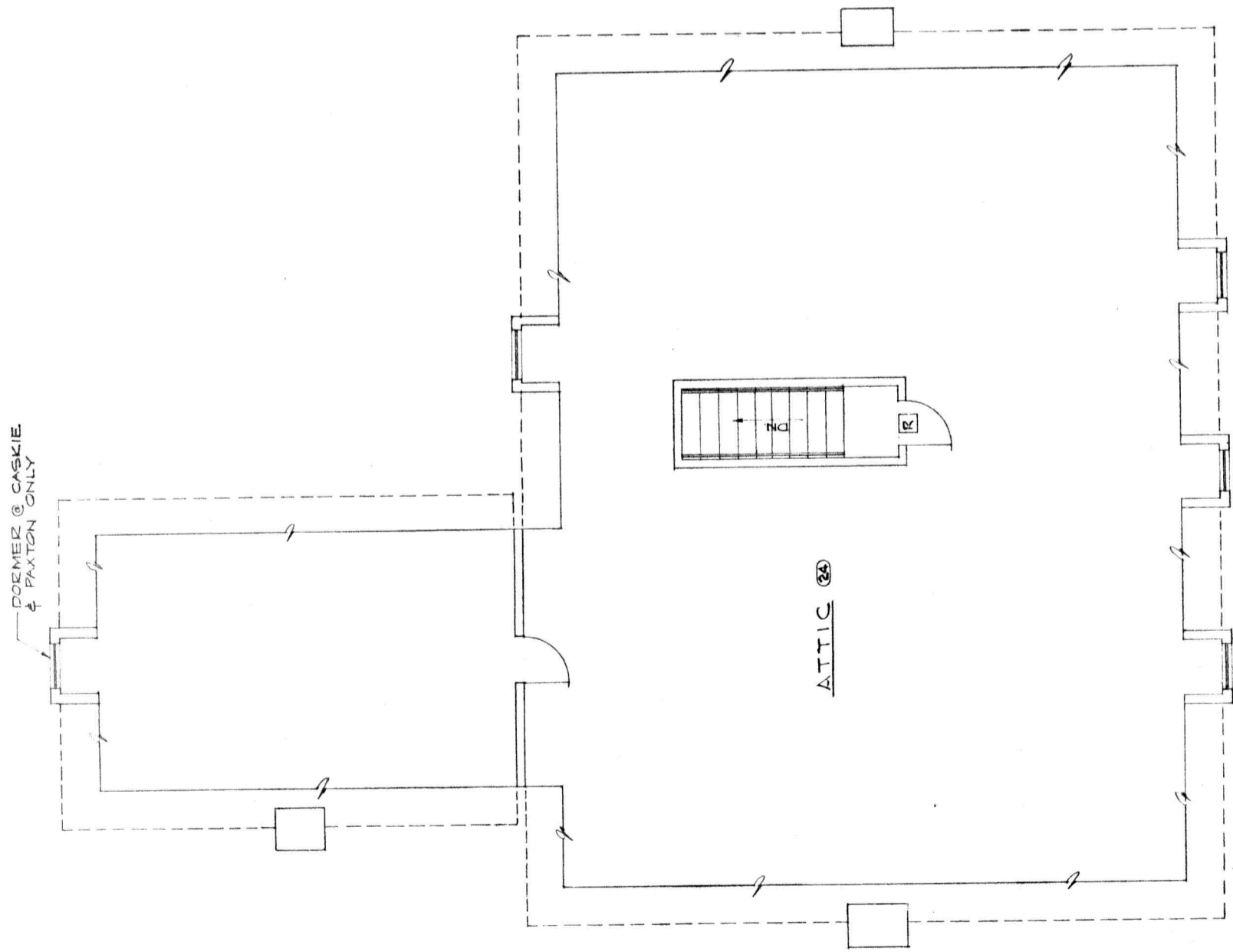
SECOND FLOOR PLAN - SHELTON
1/4" = 1'-0"

PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

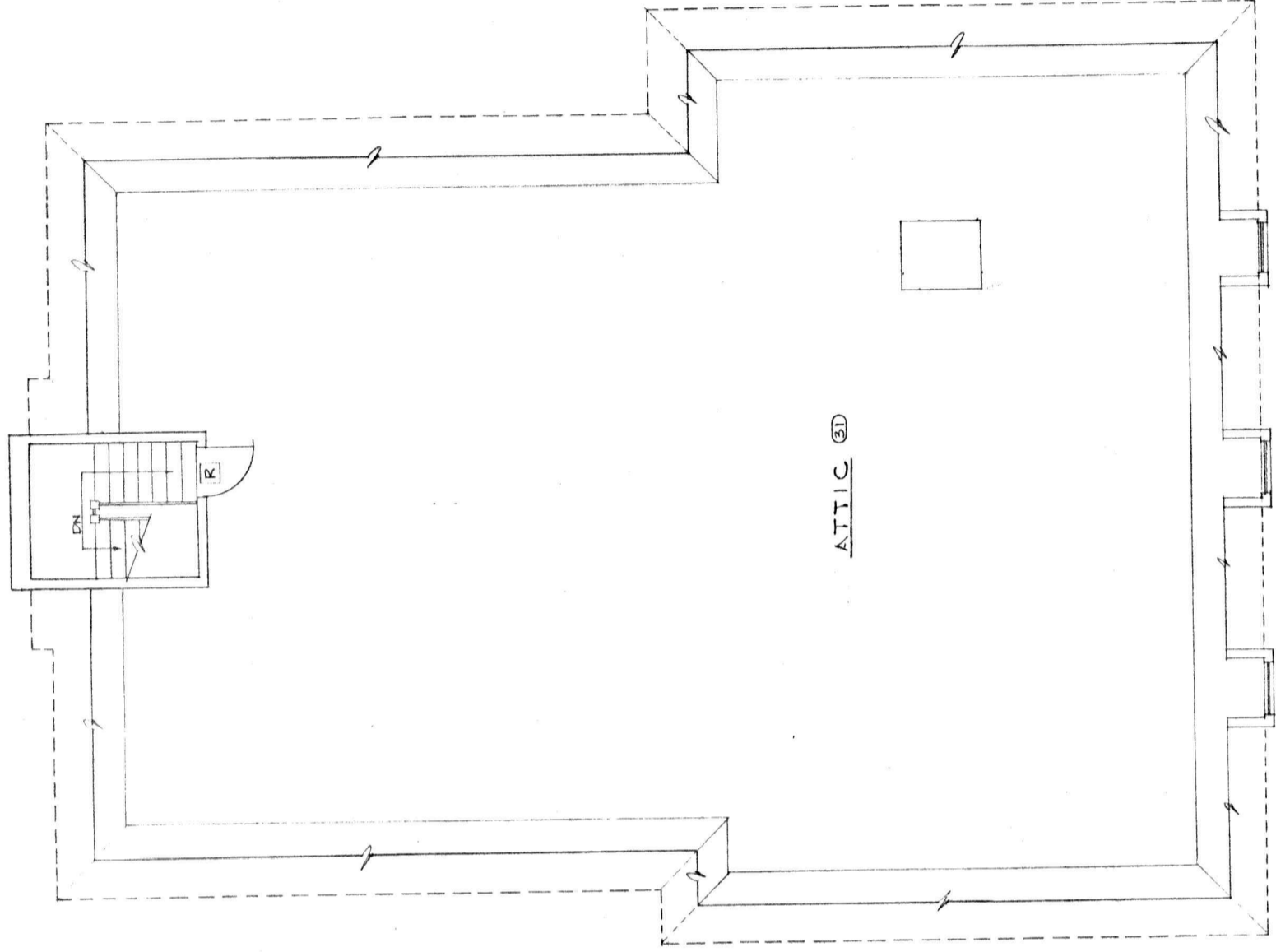
CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA

REVISED: _____
SCALE: _____
DATE: _____

PROJECT NO. _____
DRAWING NO. _____
SHEET NO. **11**



ATTIC FLOOR PLAN - CASKIE, SCRUGGS, SHELTON & PAXTON COTTAGES
 $\frac{1}{4}'' = 1'-0''$

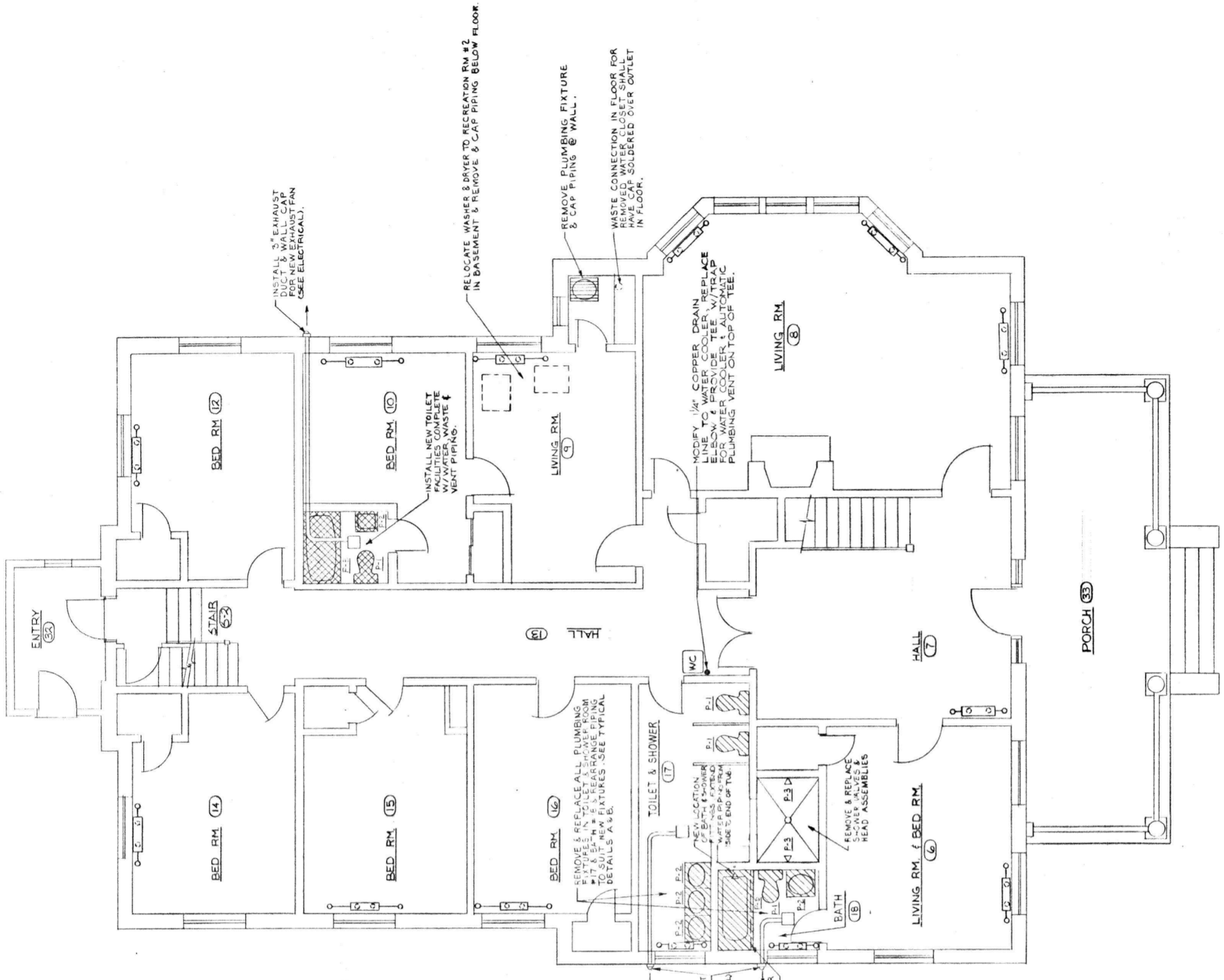


ATTIC FLOOR PLAN - NOBLE COTTAGE
 $\frac{1}{4}'' = 1'-0''$

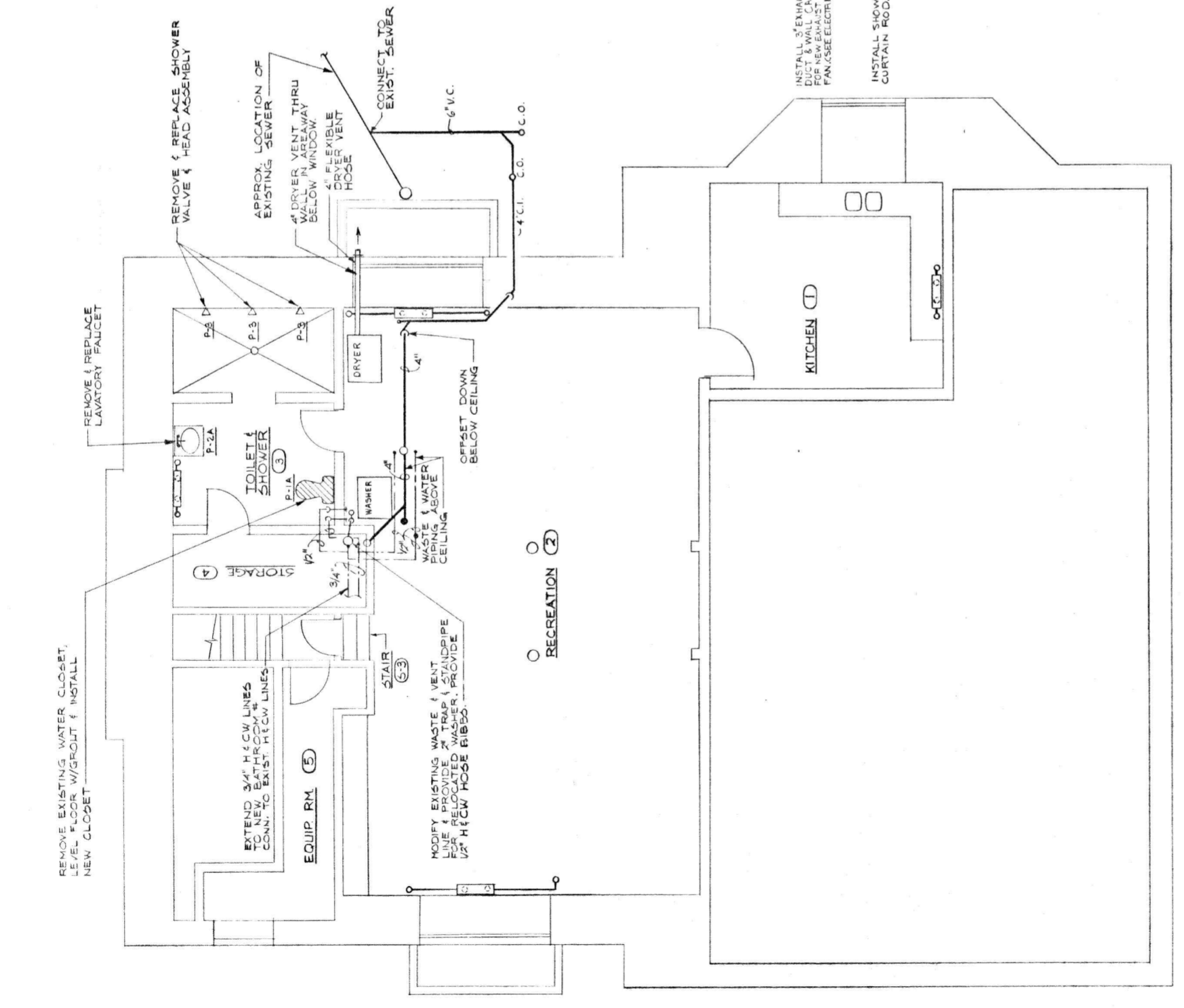
PRESBYTERIAN HOME
 IMPROVEMENTS
 LYNCHBURG, VIRGINIA

CLARK, NEYSEN & OWEN
 ARCHITECTS & ENGINEERS
 LYNCHBURG, VIRGINIA
 NORFOLK, VIRGINIA

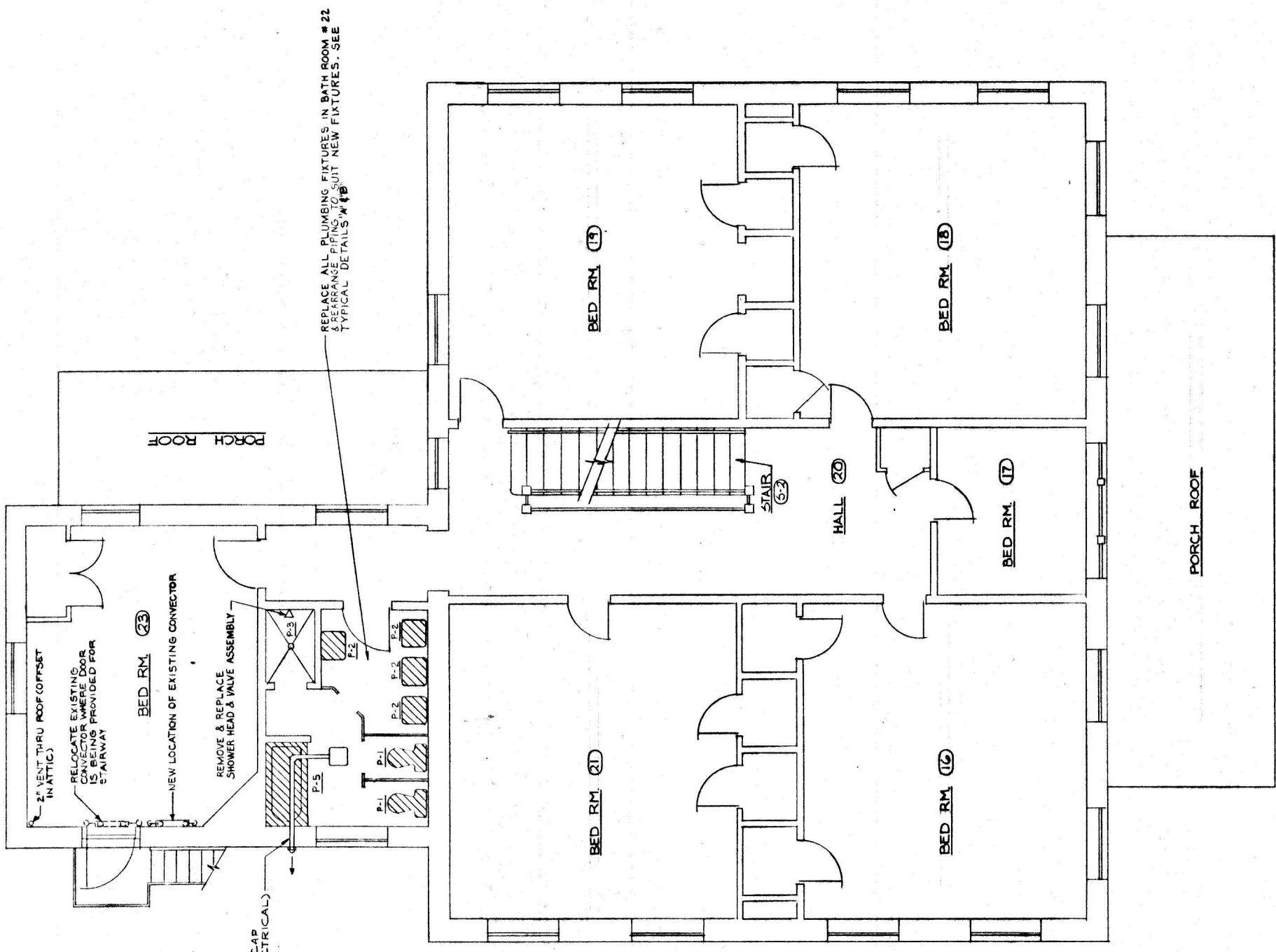
ATTIC FLOOR PLANS
 CASKIE, SCRUGGS, SHELTON
 PAXTON & NOBLE COTTAGES
 SCALE: 1/4" = 1'-0"
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 DATE: [blank]
 SHEET NO. 12
 TOTAL SHEETS: [blank]



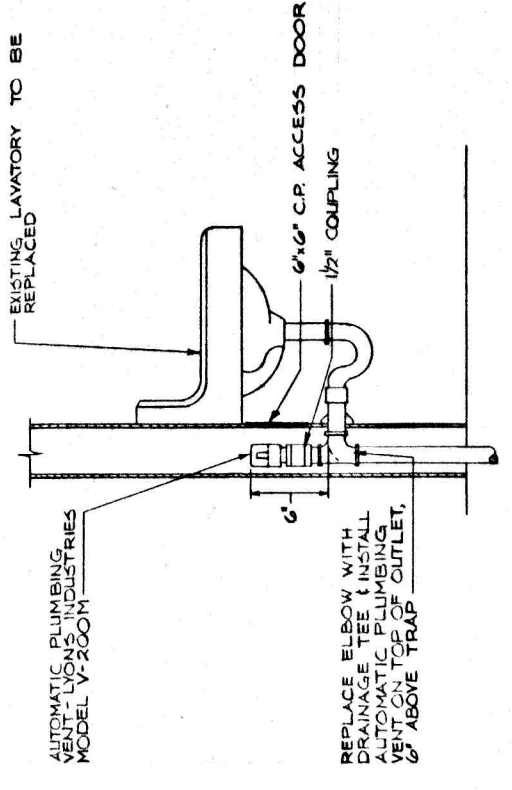
FIRST FLOOR PLAN - NOBLE COTTAGE
 1/4" = 1'-0"



BASEMENT PLAN - NOBLE COTTAGE
 1/4" = 1'-0"

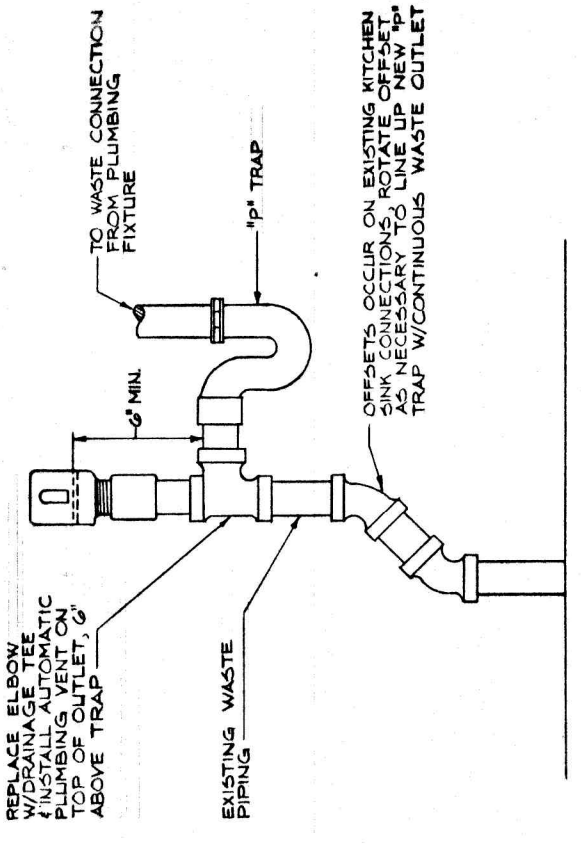


SECOND FLOOR PLAN - PAXTON
1/4" = 1'-0"



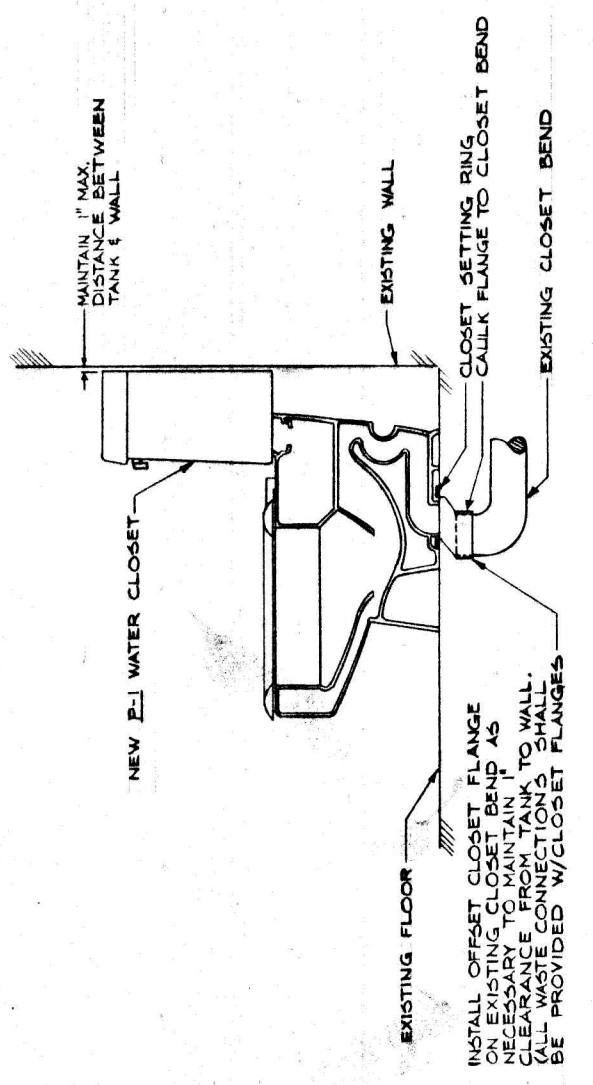
DETAIL "B"

AUTOMATIC PLUMBING VENT INSTALLATION ON LAVATORY
WASTE CONNECTION
NO SCALE



DETAIL "C"

DETAIL OF AUTOMATIC PLUMBING VENTS INSTALLED ON WASTE CONNECTIONS, SINKS, WATER COOLERS, WASHERS, ETC.
NO SCALE



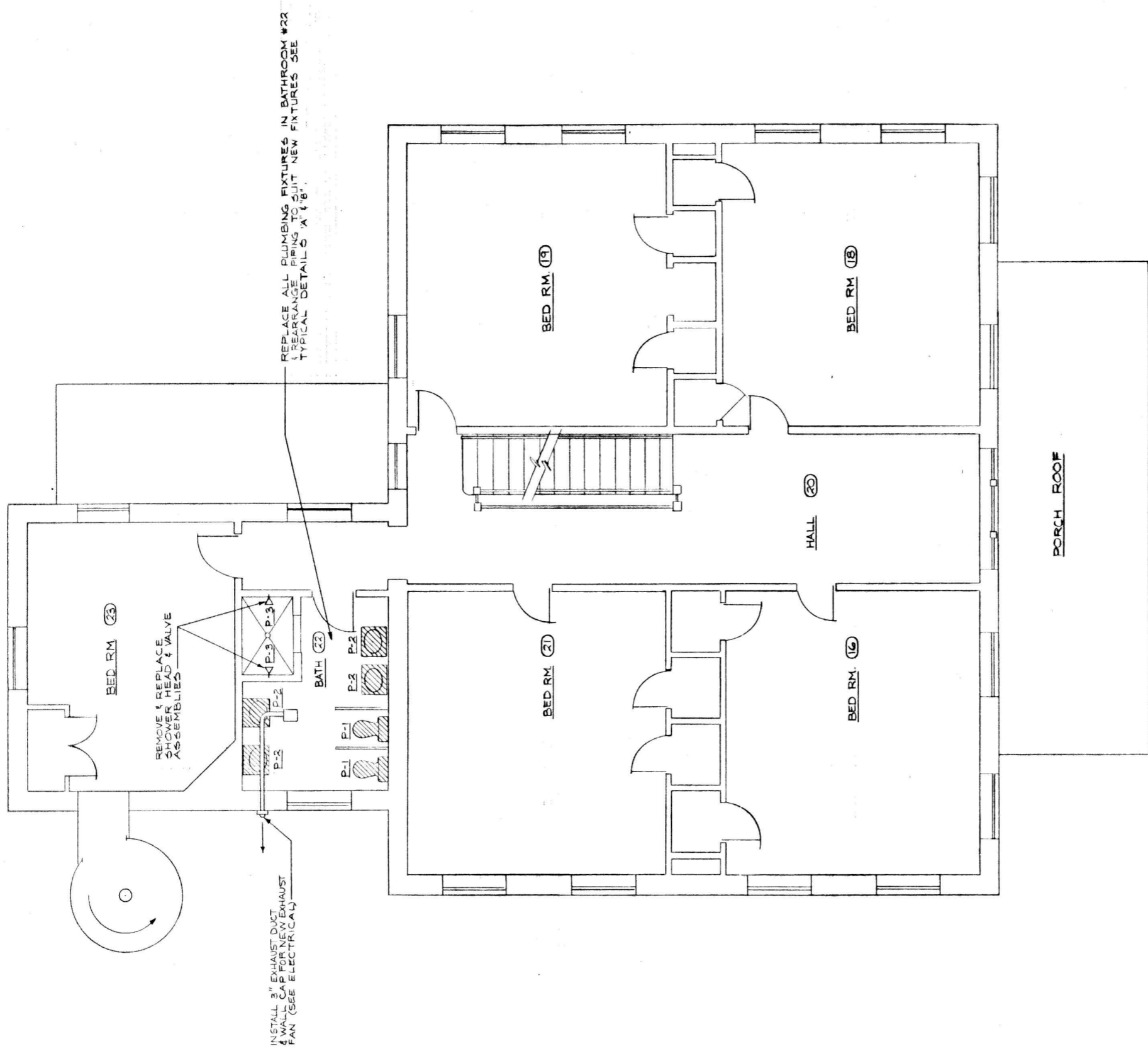
DETAIL "A"

WATER CLOSET INSTALLATION DETAILS
NO SCALE

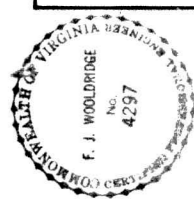


PRESBYTERIAN HOME IMPROVEMENTS
PAXTON COTTAGE
LYNCHBURG, VIRGINIA

CLARK, NEYSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
SECOND FLOOR PLAN
P-4
REVISED
JULY 1977 AS SHOWN
F. J. W. 4237

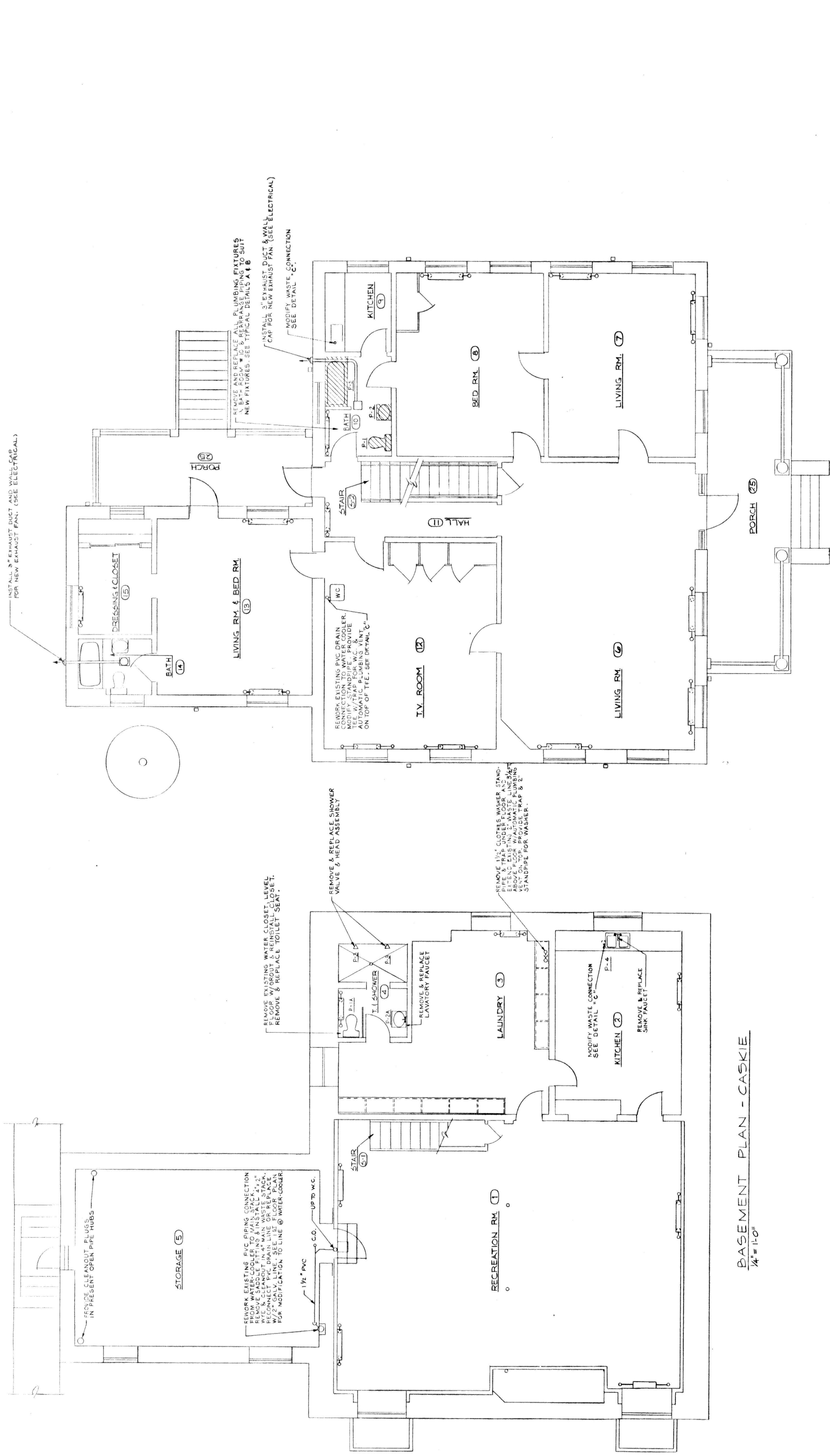


SECOND FLOOR PLAN - SCRUGGS
 1/4" = 1'-0"



PRESBYTERIAN HOME
 IMPROVEMENTS
 LYNCHBURG, VIRGINIA

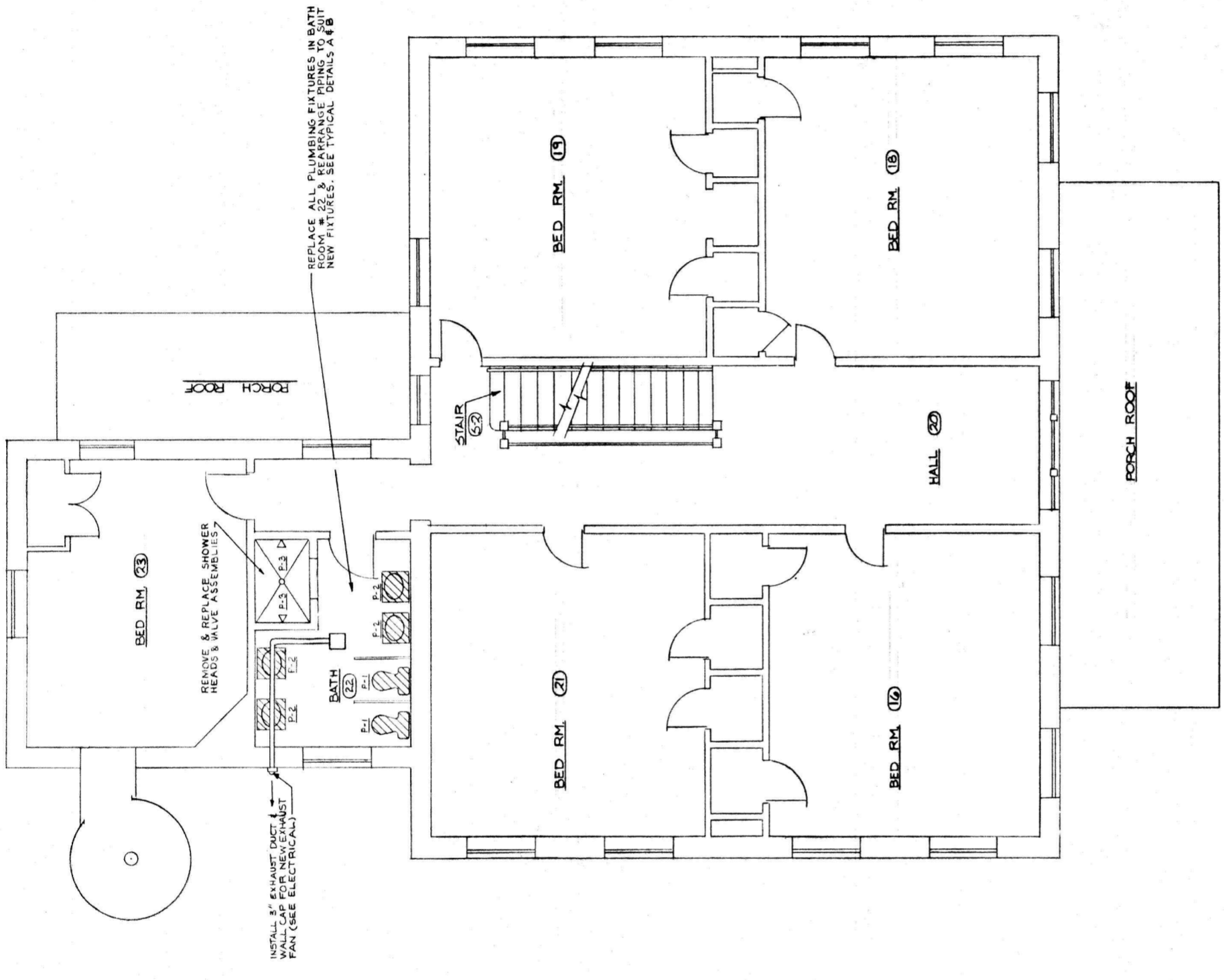
CLARK, NEXSEN & OWEN
 ARCHITECTS & ENGINEERS
 LYNCHBURG, VIRGINIA
 SECOND FLOOR PLAN
 SCRUGGS COTTAGE
 P-6



FIRST FLOOR PLAN - CASKIE
 1/4" = 1'-0"

BASEMENT PLAN - CASKIE
 1/4" = 1'-0"





SECOND FLOOR PLAN - CASKIE
1/4"=1'-0"



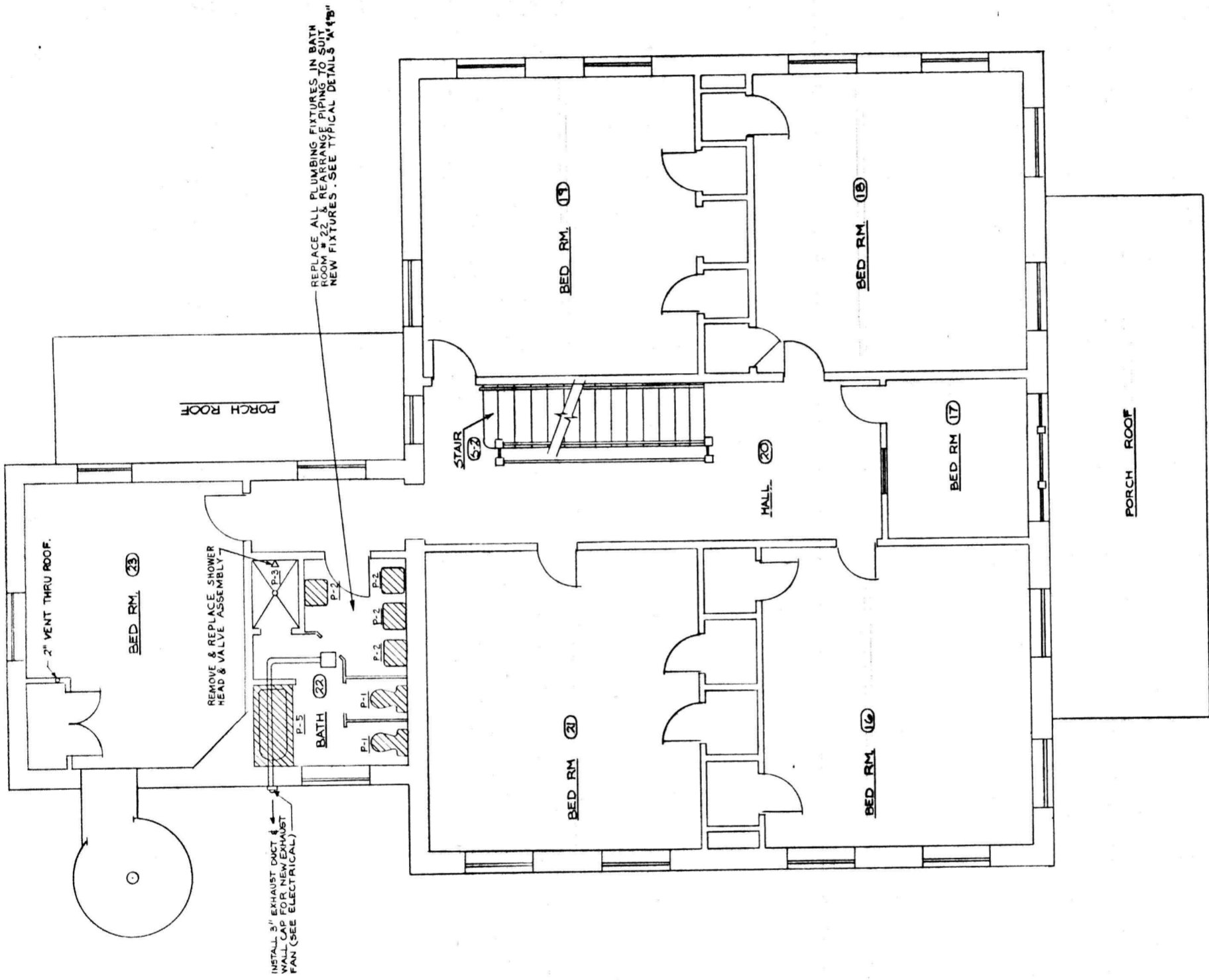
PRESBYTERIAN HOME
IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
NORFOLK, VIRGINIA

REVISED	DATE	SCALE	DRAWN BY	CHECKED	COMPILED

SECOND FLOOR PLAN
CASKIE COTTAGE
P-8

ULY 18 1877 AS SHOWN J.E.W. CHICAGO



SECOND FLOOR PLAN - SHELTON
 1/4" = 1'-0"

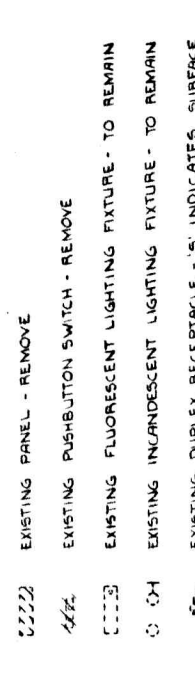


PRESBYTERIAN HOME
 IMPROVEMENTS
 LYNCHBURG, VIRGINIA

CLARK, HEYSEN & OWEN
 ARCHITECTS & ENGINEERS
 LYNCHBURG, VIRGINIA
 SECOND FLOOR PLAN
 SHELTON COTTAGE
 P-10
 JULY 18, 1977 AS SHOWN
 CHECKED BY: F. J. W.
 DRAWN BY: J. E. W.
 DATE: 7/18/77
 DRAWING NO. 1591

LEGEND

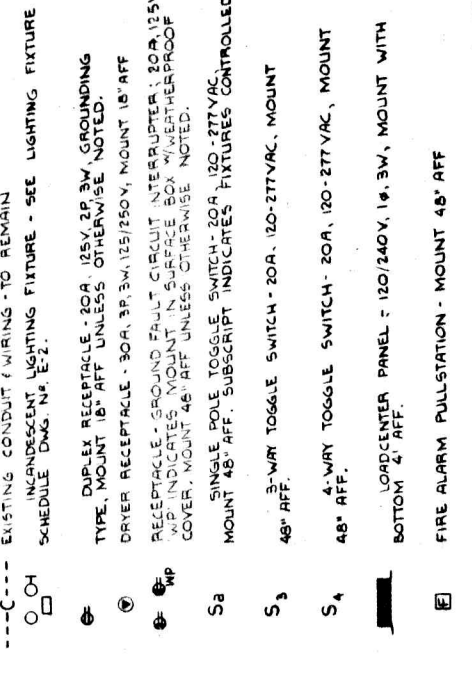
- XXXX EXISTING FLUORESCENT LIGHTING FIXTURE - REMOVE.
- XXXX EXISTING INCANDESCENT LIGHTING FIXTURE - REMOVE. (SUBSCRIPT INDICATES PULL CHAIN)
- XXXX MOUNTED DUPLEX RECEPTACLE - 5 INDICATES SURFACE MOUNTED
- XXXX EXISTING SPECIAL PURPOSE RECEPTACLE - REMOVE.
- XXXX EXISTING SWITCHES TO REMAIN. SINGLE POLE SWITCH AND SUBSCRIPT INDICATES FIXTURES CONTROLLED.
- XXXX EXISTING EXPOSED CONDUIT (C) OR WIREMOLD (W) - REMOVE.
- XXXX EXISTING PANEL - REMOVE
- XXXX EXISTING PUSHBUTTON SWITCH - REMOVE
- XXXX EXISTING FLUORESCENT LIGHTING FIXTURE - TO REMAIN
- XXXX EXISTING INCANDESCENT LIGHTING FIXTURE - TO REMAIN
- XXXX EXISTING DUPLEX RECEPTACLE - 5 INDICATES SURFACE MOUNTED
- XXXX EXISTING SPECIAL PURPOSE RECEPTACLE - TO REMAIN
- XXXX EXISTING SWITCH TO REMAIN. SINGLE POLE SWITCH AND SUBSCRIPT INDICATES FIXTURES CONTROLLED.
- XXXX EXISTING MAIN PANEL - 120/240V, 14.3W - TO REMAIN.
- XXXX EXISTING DISCONNECT SWITCH - TO REMAIN.
- XXXX EXISTING JUNCTION BOX - TO REMAIN.
- XXXX EXISTING MOTOR CONNECTION TO REMAIN - NOMENCLATURE TO REMAIN
- XXXX EXISTING CONDUIT (WIRING) TO REMAIN
- XXXX INCANDESCENT LIGHTING FIXTURE - SEE LIGHTING FIXTURE SCHEDULE DWG. NB-102.
- XXXX DUPLEX RECEPTACLE - 20A, 125V, 2P, 3W, GROUNDING TYPE, MOUNT 18" AFF UNLESS OTHERWISE NOTED.
- XXXX DRYER RECEPTACLE - 30A, 3P, 3W, 125/250V, MOUNT 18" AFF
- XXXX RECEPTACLE - GROUND FAULT CIRCUIT INTERRUPTER: 20A, 125V, 1P, INDICATES MOUNT IN SURFACE BOX WEATHER-PROOF COVER, MOUNT 48" AFF UNLESS OTHERWISE NOTED.
- XXXX SINGLE POLE TOGGLE SWITCH - 20A, 120-277VAC, MOUNT 48" AFF. SUBSCRIPT INDICATES FIXTURES CONTROLLED.
- XXXX 48" AFF. 1/2" WIR TOGGLE SWITCH - 20A, 120-277VAC, MOUNT 48" AFF.
- XXXX 4-WAY TOGGLE SWITCH - 20A, 120-277VAC, MOUNT 48" AFF.
- XXXX LOADCENTER PANEL - 120/240V, 14.3W, MOUNT WITH BOTTOM 4" AFF.
- XXXX FIRE ALARM PULLSTATION - MOUNT 48" AFF
- XXXX FIRE DETECTOR W/ INTEGRAL ALARM HORN - CEILING MOUNTED. WIRING TYPE, NMC, CABLE, RUN CONCEALED IN WALL OR CEILING. WIRE GROUND CONDUCTORS TO BE MARKED INDICATE 5 OTHER THAN BLUE/GROUND NOT INDICATED FOR CLARITY
- XXXX NEW CONDUIT WIRING - CONDUCTORS AS NOTED.
- XXXX BRANCH CIRCUIT HOMERUN - PANEL NB-200, CMT. # 6
- XXXX CONNECT NEW TO EXISTING. REMARKS INDICATE WHAT TO PICK UP. (EXAMPLE: "CONNECT NEW TO EXISTING SWITCH LEG 1, 2, 3, 4, 5, 6")
- XXXX LIGHTING FIXTURE DESIGNATION
- XXXX ROOM DESIGNATION
- XXXX GENERAL CONSTRUCTION NOTE DESIGNATION. SEE DWG. E-2.



BASEMENT PLAN - NOBLE COTTAGE
1/4" = 1'-0"

NOTE 1:
REMOVE EXISTING SERVICE DROP FROM POLE TO NOBLE COTTAGE AND EXISTING EXPOSED CONDUIT ON THE OUTSIDE WALL OF THE BUILDING ASSOCIATED WITH THE SERVICE ENTRANCE. REMOVE THE SERVICE ENTRANCE CONDUIT TO THE EXISTING LOADCENTER NB-100.
PROVIDE 3/2" IN 1/2" CONDUIT DOWN POLE FROM EXISTING SECONDARY TO 1" IN 3/4" BELOW GRADE TO BUILDING. PROVIDE WEATHERHEAD AND CONNECT TO EXISTING SECONDARY. EXTEND 3'-2" IN EXISTING CONDUIT TO LOADCENTER NB-100.
PROVIDE ALL ASSOCIATED HARDWARE REQUIRED TO MAKE A PROPER INSTALLATION. CONDUIT RUN UNDERGROUND SHALL BE ASPHALTUM PRINTED.

FIRST FLOOR PLAN - NOBLE COTTAGE
1/4" = 1'-0"



FIRST FLOOR PLAN - NOBLE COTTAGE
1/4" = 1'-0"

NOTE: FOR SECOND FLOOR PLAN SEE DWG. NB-101. FOR ATTIC PLAN SEE DWG. NB-102.



CLARK NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
NOBLE COTTAGE
BASEMENT & FIRST FL PLANS
E-1

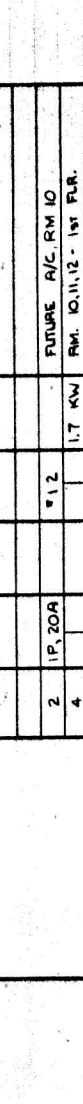
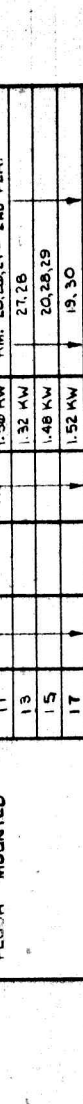
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP NO./SIZE	MOUNTING	REMARKS
A	STARBUCK/THOMAS	SL-139	4-GW. 1F	SURFACE	
A		SL-140	2-GW. 1F	SURFACE	
A		SL-154	2-GW. 1F	SURFACE	
A		SL-194	2-GW. 1F	SURFACE	
A		SL-321	1-GW. 1F	SURFACE	
A		SL-7502	3-GW. 1F	SURFACE	
A		SL-323-1	1-GW. 1F	SURFACE	
A		SL-210	1-GW. 1F	WALL	MOUNT ABOVE TOP OF MIRROR
A		RU-315	1-GW. 1F	RECESSED	
A	THOMAS	T-342	1-75 W. 1F	RECESSED	W/2-BY-MANUAL-FAN SWITCH EACH SEPARATELY
A	THOMAS	T-307	1-75 W. 1F	RECESSED	
A	PERFECLITE	NL6666-2	1-55 W. 1F	RECESSED	
A	MARCO	NT-P	1-100 W. 1F	SURFACE	
A	BRYANT	5228	1-100 W. 1F	SURFACE	

LOADCENTER		WIRE		LOAD		SERVICE	
DESCRIPTION	CIRCUIT NUMBER	BREAKER RATING	SIZE	KW/HP			
NOBLE COTTAGE	1	1P, 20A	#12	1.02 KW	RM. 14 - 1st FLR.		
	3			1.2 KW			
	5			1.2 KW			
	7			1.72 KW			
	9			.5 KW	HALL LIGHTS - 2ND FLR.		
	11			1.56 KW	RM. 20, 24, 27 - 2nd FLR.		
	13			1.32 KW			
	15			1.48 KW			
	17			1.52 KW			
	2	1P, 20A	#12				
	4			1.7 KW	RM. 10, 11, 12 - 1st FLR.		
	6			1.66 KW			
	8			1.86 KW			
	10			1.38 KW	RM. 24, 25 - 2nd FLR.		
	12			1.32 KW			
	14			1.2 KW			
	16			1.2 KW			
	18			1.56 KW			

DESCRIPTION	CIRCUIT NUMBER	BREAKER RATING	WIRE SIZE	LOAD KW/HP	SERVICE
NOBLE COTTAGE	1	1P, 20A	#12	1.02 KW	RM. 14 - 1st FLR.
	3			1.2 KW	
	5			1.2 KW	
	7			1.72 KW	
	9			.5 KW	HALL LIGHTS - 2ND FLR.
	11			1.56 KW	RM. 20, 24, 27 - 2nd FLR.
	13			1.32 KW	
	15			1.48 KW	
	17			1.52 KW	
	2	1P, 20A	#12		
	4			1.7 KW	RM. 10, 11, 12 - 1st FLR.
	6			1.66 KW	
	8			1.86 KW	
	10			1.38 KW	RM. 24, 25 - 2nd FLR.
	12			1.32 KW	
	14			1.2 KW	
	16			1.2 KW	
	18			1.56 KW	

NOTE: TANDEN BRWS. NOT ALLOWED.

REMOVE EXISTING 2P 30A BRW. FEEDING 7000A W/GRN W/WH. TO FEED NEW PULL NB-200.



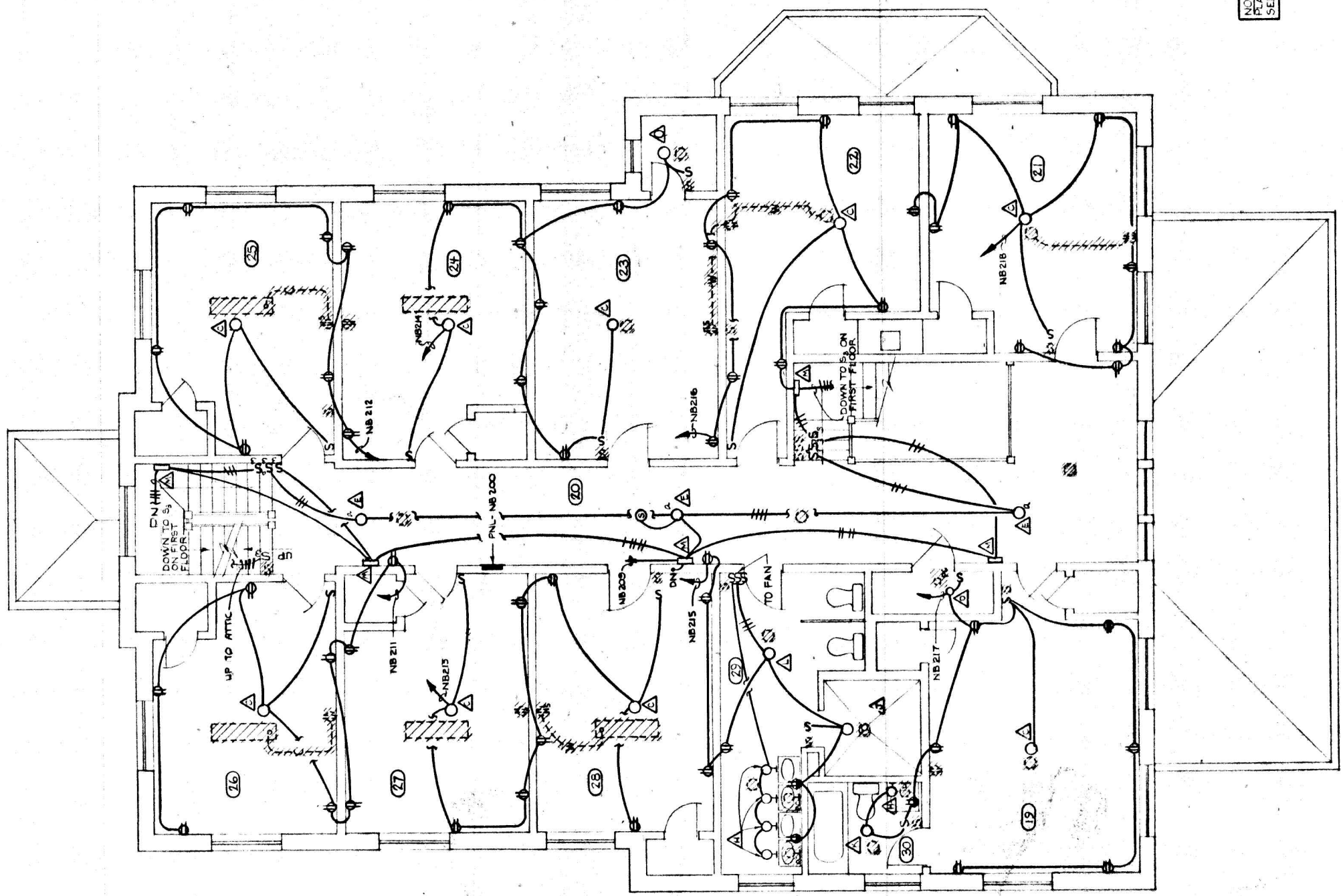
NOTES:
 1. ANY DEVICE IN ALARM CONDITION SHALL RING IN EACH DETECTOR ON EACH FLOOR.
 2. REMOTE DEVICES OPERATE WITH NORMALLY OPEN SET OF CONTACTS.
 3. DETECTORS ARE DUAL CHAMBER (IONIZATION TYPE AND W/GRN) DETECTORS. SHALL HAVE BUILT-IN TRANSFORMER, POWER ON LIGHT AND 85 DECIBEL HORN.

FIRE ALARM SYSTEM (TYPICAL EACH BLDG.)
 NO SCALE

GENERAL CONSTRUCTION NOTES

- IN BASEMENT ALL PANS - WHERE NEW 4" CMU WALL IS BEING PROVIDED; ADD 5/8" EXTENSIONS ALL ELECTRICAL SWITCHES INDICATED SUCH THAT DEVICE SHALL BE MOUNTED IN NEW WALL. PROVIDE NEW DEVICE AND COVER PLATE.
- IN ALL BUILDINGS - REPLACE ALL 1/4" x 1 1/2" FLUORESCENT FIXTURES IN EXISTING ACRYLIC LENS.
- ALL BUILDING SERVICES SHALL REMAIN, EXCEPT NOBLE COTTAGE. SEE DWG. NO. E-1 FOR NOBLE COTTAGE SERVICE DESCRIPTION.
- IN ALL BUILDINGS - WHERE EXISTING FIXTURES ARE REMOVED AND NEW FIXTURES ARE PROVIDED THE NEW FIXTURES SHALL BE LOCATED IN CENTER OF ROOM OR AREA.
- CONTRACTOR SHALL REMOVE TV SYSTEM IN EACH BLDG. ADEQUATE MATERIALS EXIST IN EACH BLDG. EXCEPT FOR THE TV SYSTEM. PROVIDE 1/2" CABLE SHALL BE PROVIDED EVERY 5' 2" RETURN. GROUND CABLE MUST BE PROTECTED BY 1/2" RIGID PVC CONDUIT.
- WIRING SHALL BE RUN CONCEALED IN WALLS OR CEILING. 1" FLOOR WALLS MAY BE CHASED AND REPAIRED BEFORE NEW WALL COVERING IS APPLIED. 1" FLOOR CEILING ARE BEING DROPPED 1" AND SHEET ROCK INSTALLED - WIRING SHALL BE RUN ABOVE NEW CEILING, AND EXISTING CEILING MAY BE CUT TO PROVIDE FOR WIRING.
- PROVIDE FIRE ALARM SYSTEM (AS INDICATED BY DETAIL - THIS SHEET IN NOBLE COTTAGE AND NEAR COTTAGE). PROVIDE 1/2" RIGID PVC CONDUIT ON 2ND FLOOR AND 1" RIGID PVC CONDUIT ON 1ST FLOOR. ALL WIRING SHALL BE CONCEALED. ANY DAMAGE TO THE EXISTING FACILITY SHALL BE REPAIRED AND PAINTED TO MATCH EXISTING. CONNECT TO NEAREST 120VOLT CIRCUIT AND MARK PANEL TO INDICATE CIRCUIT TO WHICH FIRE ALARM IS CONNECTED.

NOTE: FOR BASEMENT AND FIRST FLOOR SERVICE SEE DWG. NO. E-1. FOR ATTIC PLAN SEE DWG. NO. E-11.

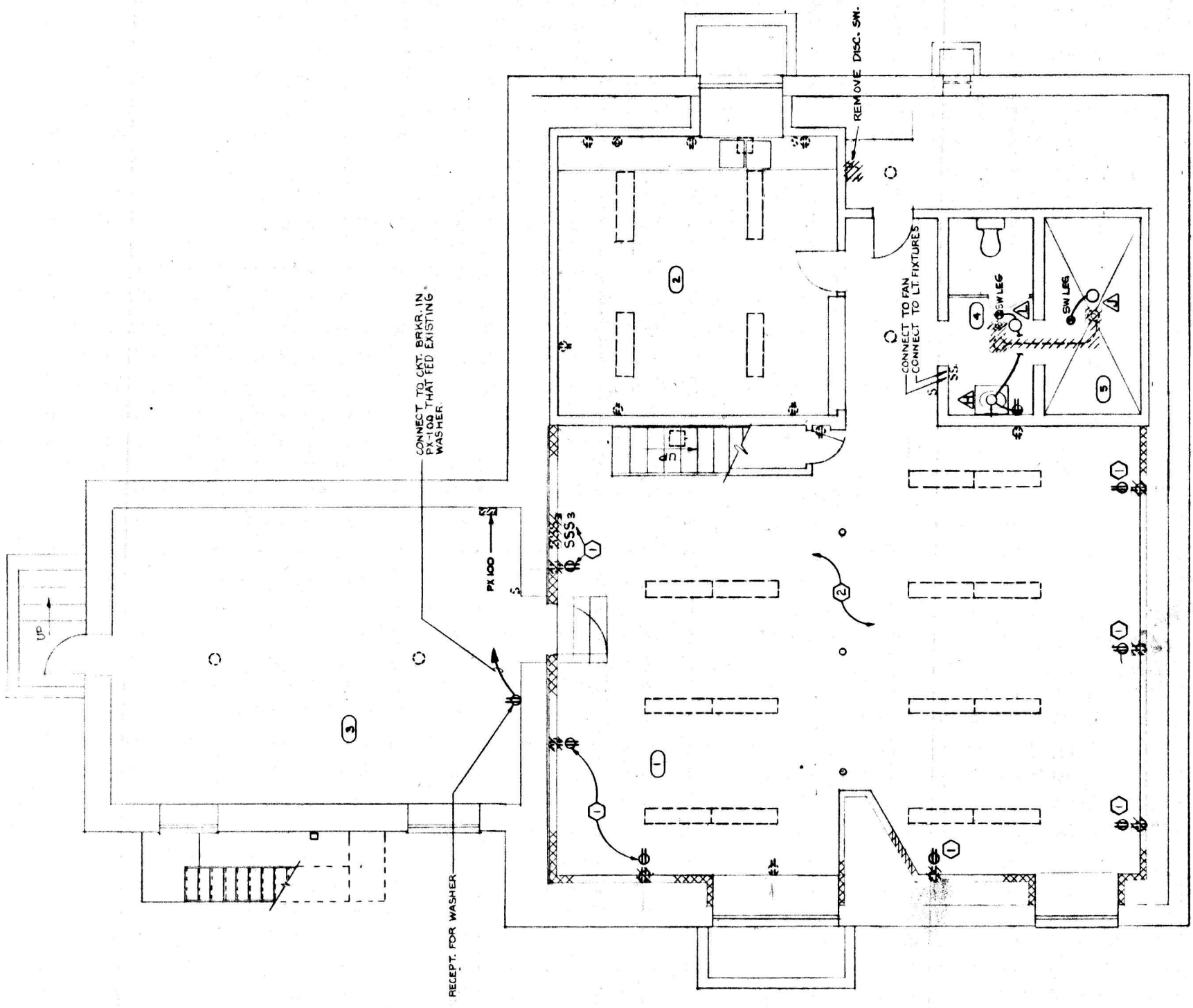


SECOND FLOOR PLAN - NOBLE COTTAGE
 1/4" = 1'-0"

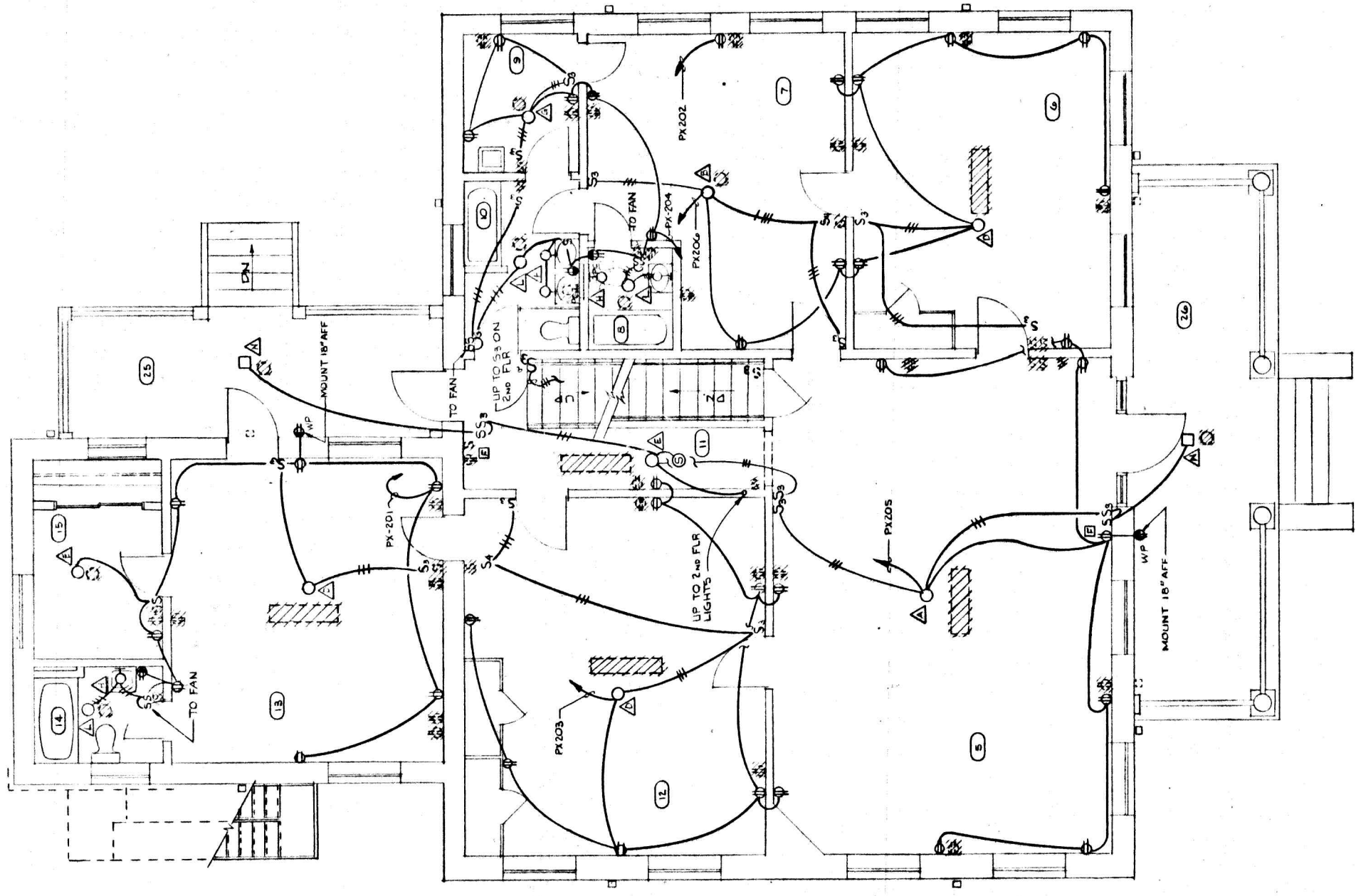


PRESBYTERIAN HOME IMPROVEMENTS
 LYNCHBURG, VIRGINIA

CLARK NEXSEN & OWEN
 ARCHITECTS & ENGINEERS
 LYNCHBURG, VIRGINIA
 SECOND FLOOR PLAN
 NOBLE COTTAGE
 DATE: 10/11/71
 DRAWN BY: J.W. COO
 CHECKED BY: J.W. COO
 SCALE: 1/4" = 1'-0"
 SHEET NO.: E-2



BASEMENT PLAN - PAXTON
1/4" = 1'-0"



FIRST FLOOR PLAN - PAXTON
1/4" = 1'-0"

NOTE FOR SECOND FLOOR PLAN SEE DWG. NS E-4 FOR ATTIC PLAN SEE DWG. NS E-11.



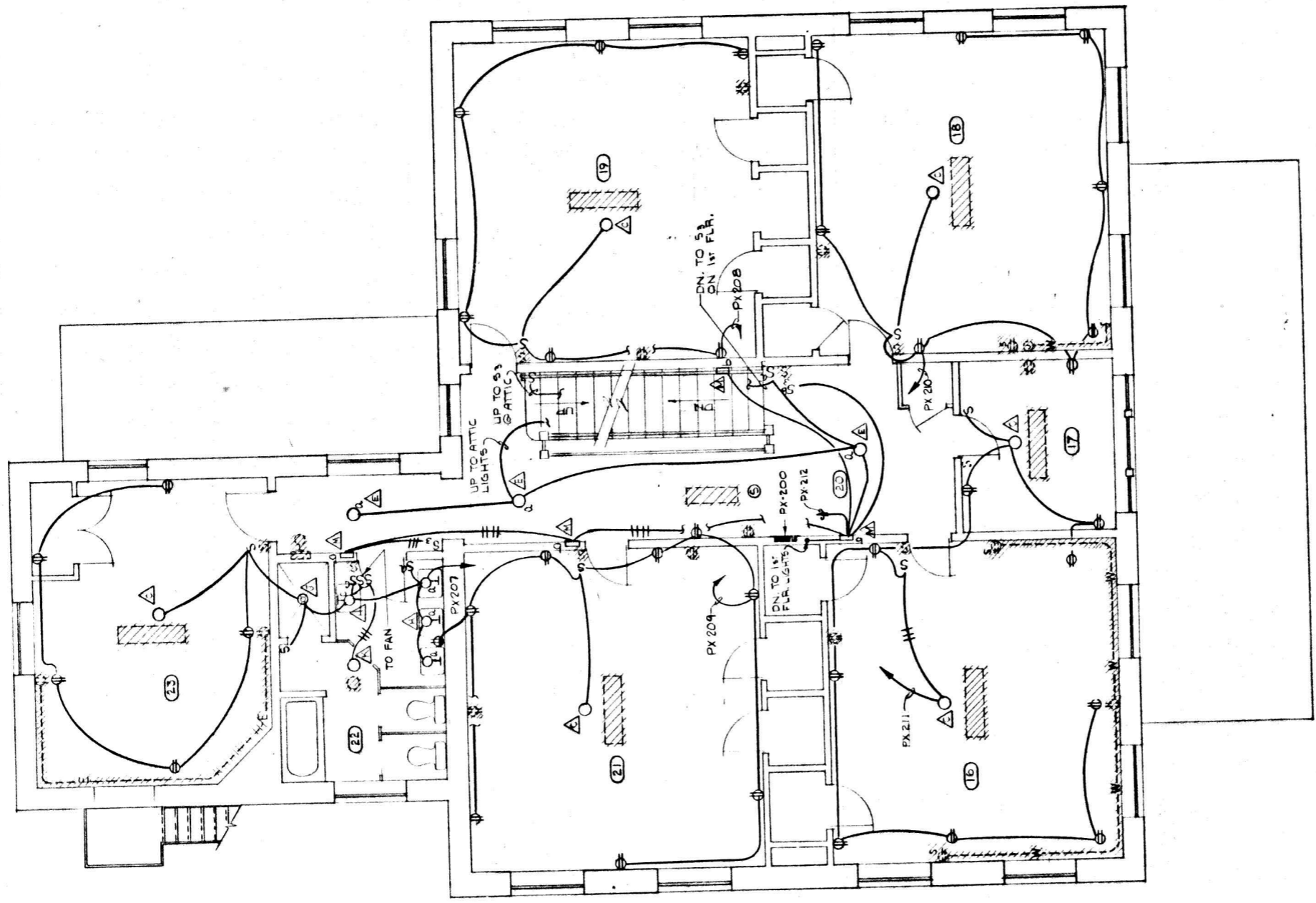
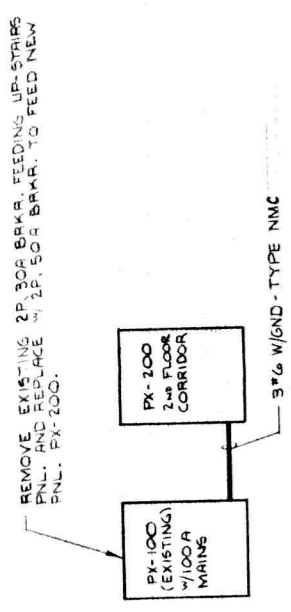
PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK NEISEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
NORFOLK, VIRGINIA
BASEMENT & FIRST FL. PLANS
PAXTON COTTAGE
E-3
DRAWN BY: J.S.W. CHECKED BY: J.S.W. DATE: 12-21-51

DESCRIPTION	LOAD CENTER		SCHEDULE	
	CIRCUIT NUMBER	BREAKER RATING	WIRE SIZE	LOAD KW/HP
PAXTON COTTAGE	1	15/20A	#12	1.5 KW
PX-1000, 3W, 14 1/2" SQUARE	2	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	3	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	4	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	5	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	6	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	7	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	8	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	9	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	10	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	11	20A	#10	2.0 KW
NO. 2 PNL, 3W, 14 1/2" SQUARE	12	20A	#10	2.0 KW

NOTE: TANDEM BREAKERS NOT ALLOWED

POWER RISER DIAGRAM - PAXTON COTTAGE
NO SCALE



NOTE: FOR BASEMENT AND FIRST FLOOR PLAN SEE DWG. NO. E-3 FOR ATTIC PLAN SEE DWG. NO. E-11.

SECOND FLOOR PLAN - PAXTON
1/4" = 1'-0"

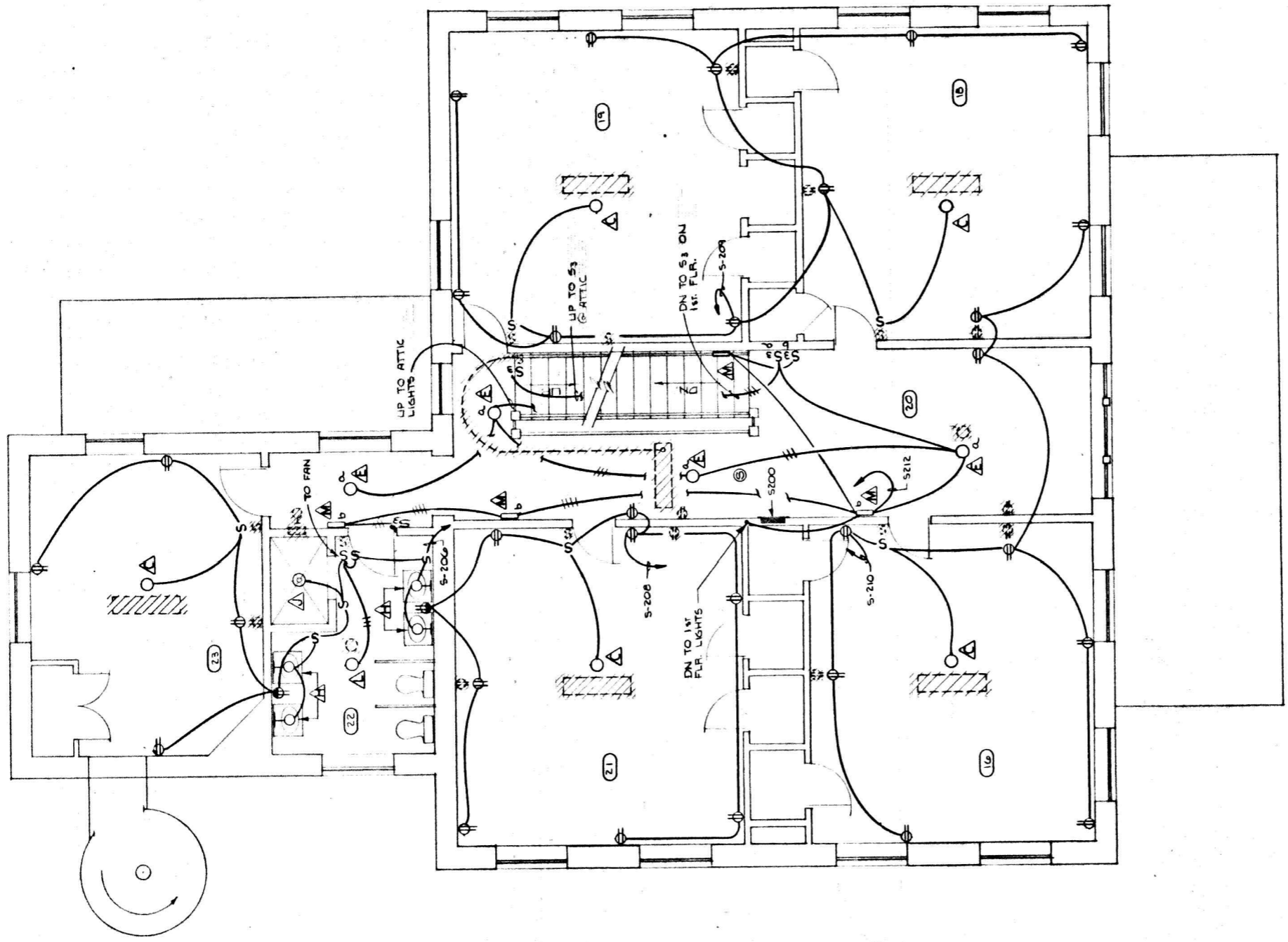
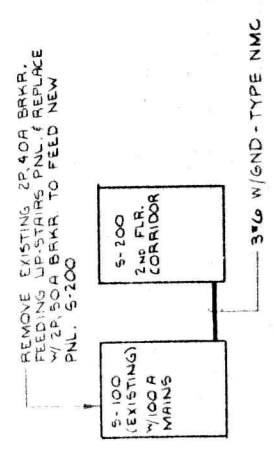


PRESBYTERIAN HOME
IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
SECOND FLOOR PLAN
PAXTON COTTAGE
E-4

DESCRIPTION	CIRCUIT NUMBER	BREAKER RATING	WIRE SIZE	LOAD KW/HP	SERVICE
SCRUGGS COTTAGE	1	15	#12	1.7 KW	RM 13, 14, 15 - 1st FLR
5-100 (EXISTING) 7/100 A MAINS	2			1.5 KW	5, 12
5-200 (EXISTING) 3/18, 5/18, 125 A MCO PNL SQUARE	3			1.5 KW	5, 12
D LOADCENTER - TYPE	4			1.0 KW	FLTR RE A/C UNIT
FLUSH MOUNTED	5			1.72 KW	RM. 16, 19 - 2nd FLR.
NOTE: TANDEM BRKBS. NOT ALLOWED.	6				SPARE
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POWER RISER DIAGRAM - SCRUGGS COTTAGE
NO SCALE



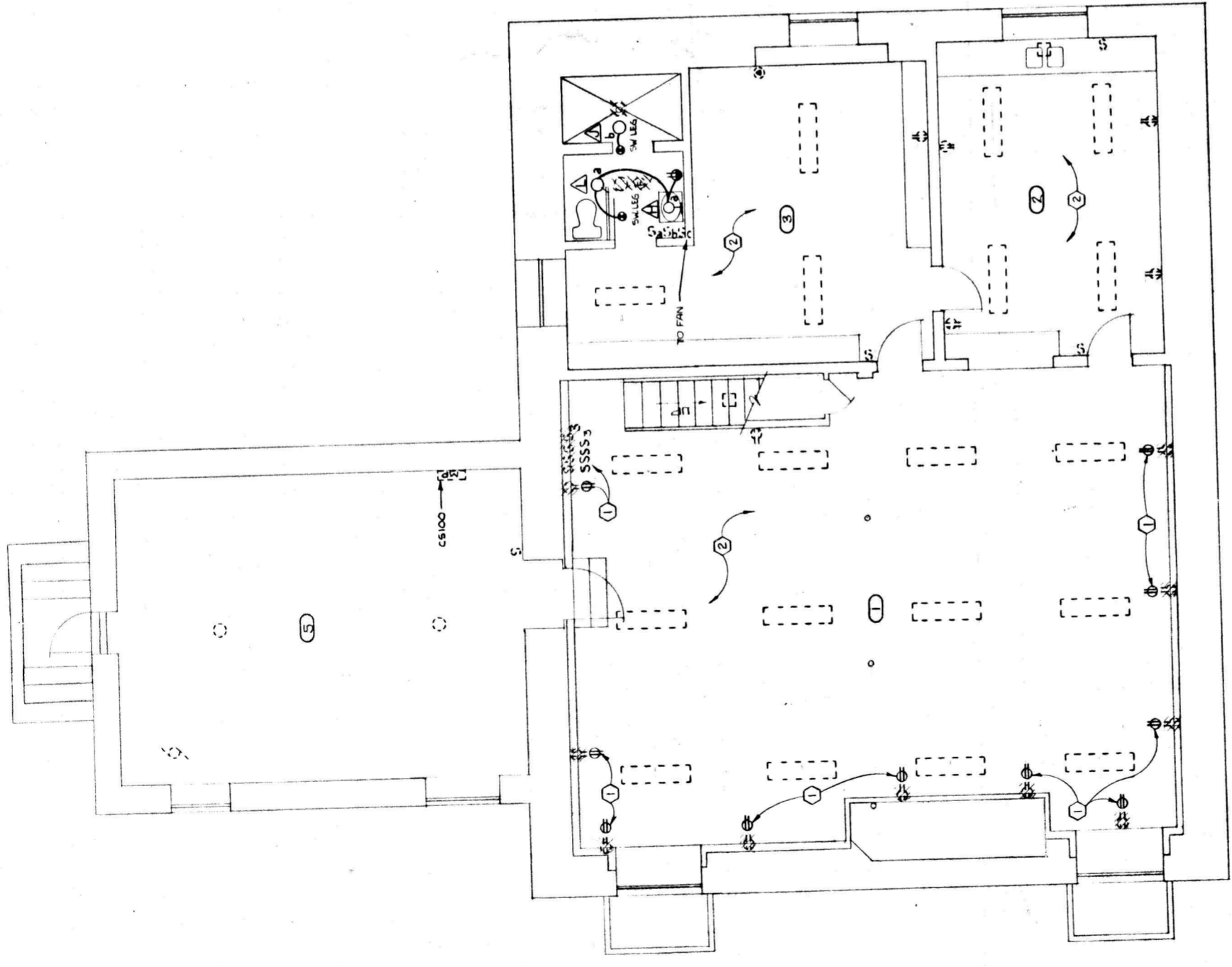
NOTE: FOR BASEMENT AND FIRST FLOOR SEE DRAWING E-5. FOR ATTIC PLAN SEE DRAWING E-11.

SECOND FLOOR PLAN - SCRUGGS
1/4" = 1'-0"

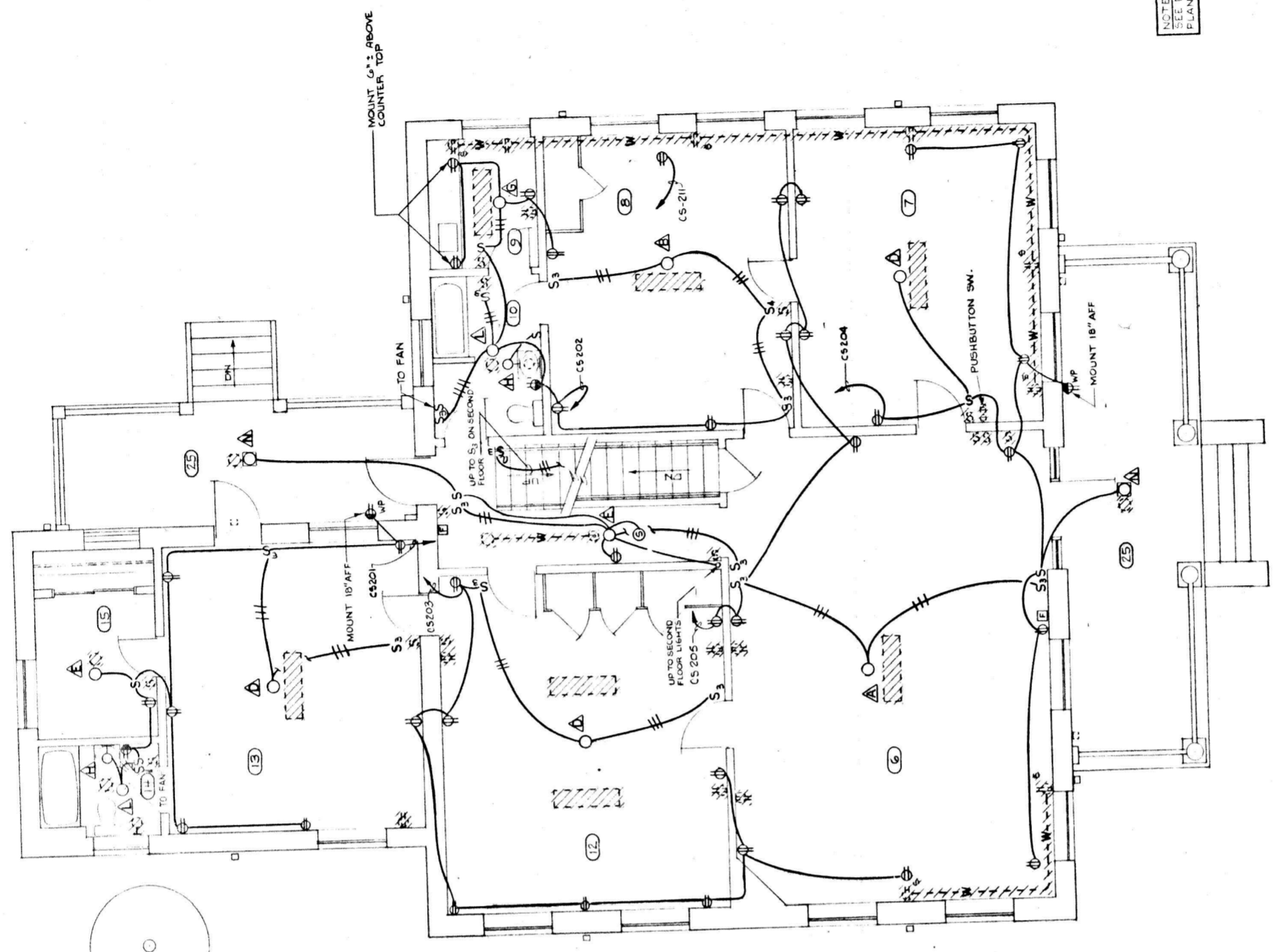


PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
SECOND FLOOR PLAN
SCRUGGS COTTAGE
E-6



BASEMENT PLAN - CASKIE
 $\frac{1}{4}'' = 1'-0''$



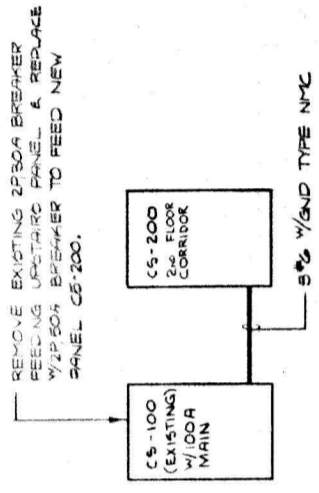
FIRST FLOOR PLAN - CASKIE
 $\frac{1}{4}'' = 1'-0''$

NOTE: FOR SECOND FLOOR PLAN
 SEE DWG. N.E. FOR ATTIC
 PLAN SEE DWG. N.E. 11.



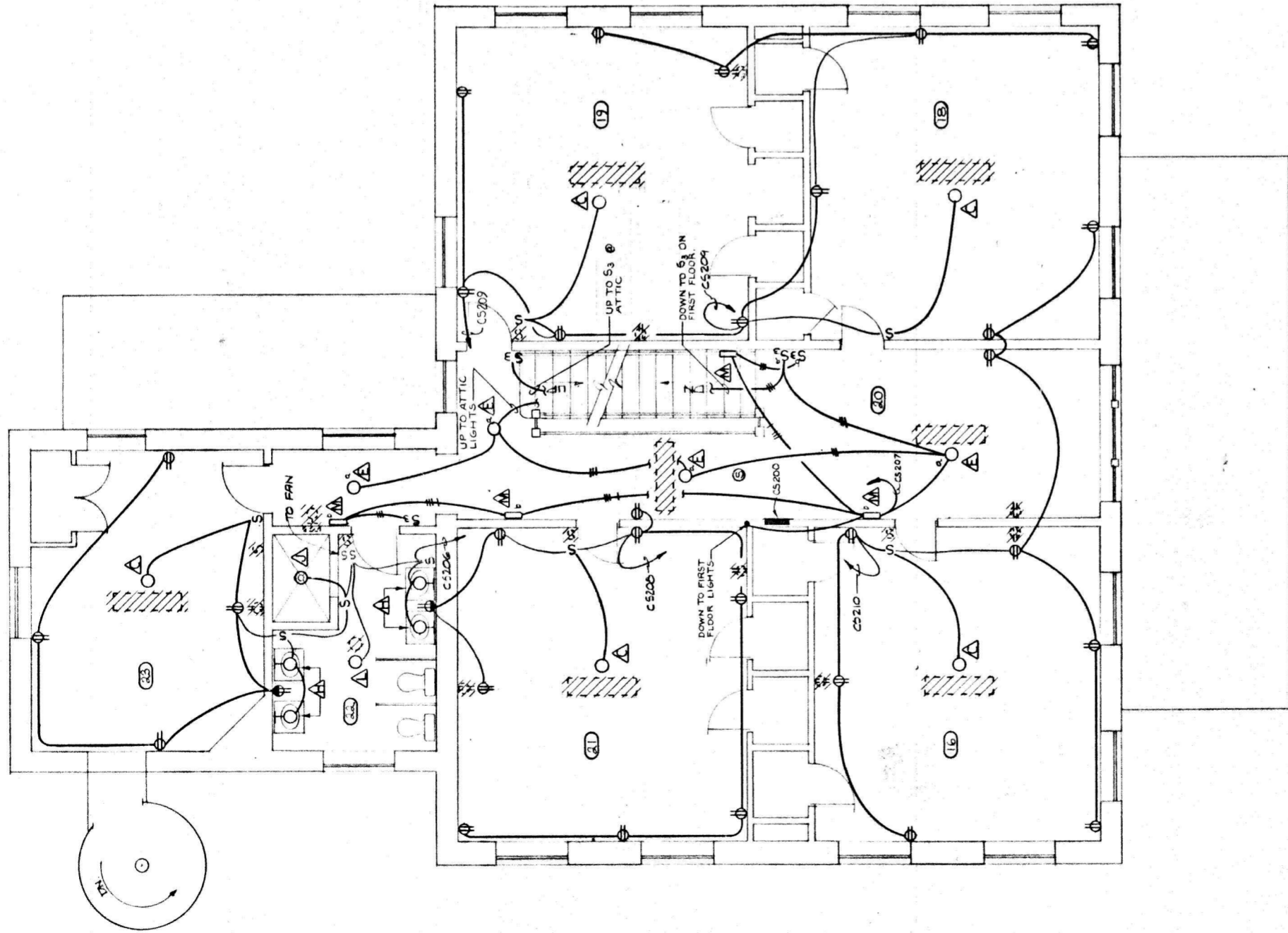
PRESBYTERIAN HOME
 IMPROVEMENTS
 LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
 ARCHITECTS & ENGINEERS
 LYNCHBURG, VIRGINIA
 BASEMENT & FIRST FL. PLANS
 CASKIE COTTAGE
 E7



POWER RISER DIAGRAM - CASKIE COTTAGE

NO SCALE



SECOND FLOOR PLAN - CASKIE
1/4" = 1'-0"

NOTE: FOR BASEMENT AND FIRST FLOOR
PLAN SEE DWG. NO. E-7. FOR ATTIC PLAN
SEE DWG. NO. E-11.

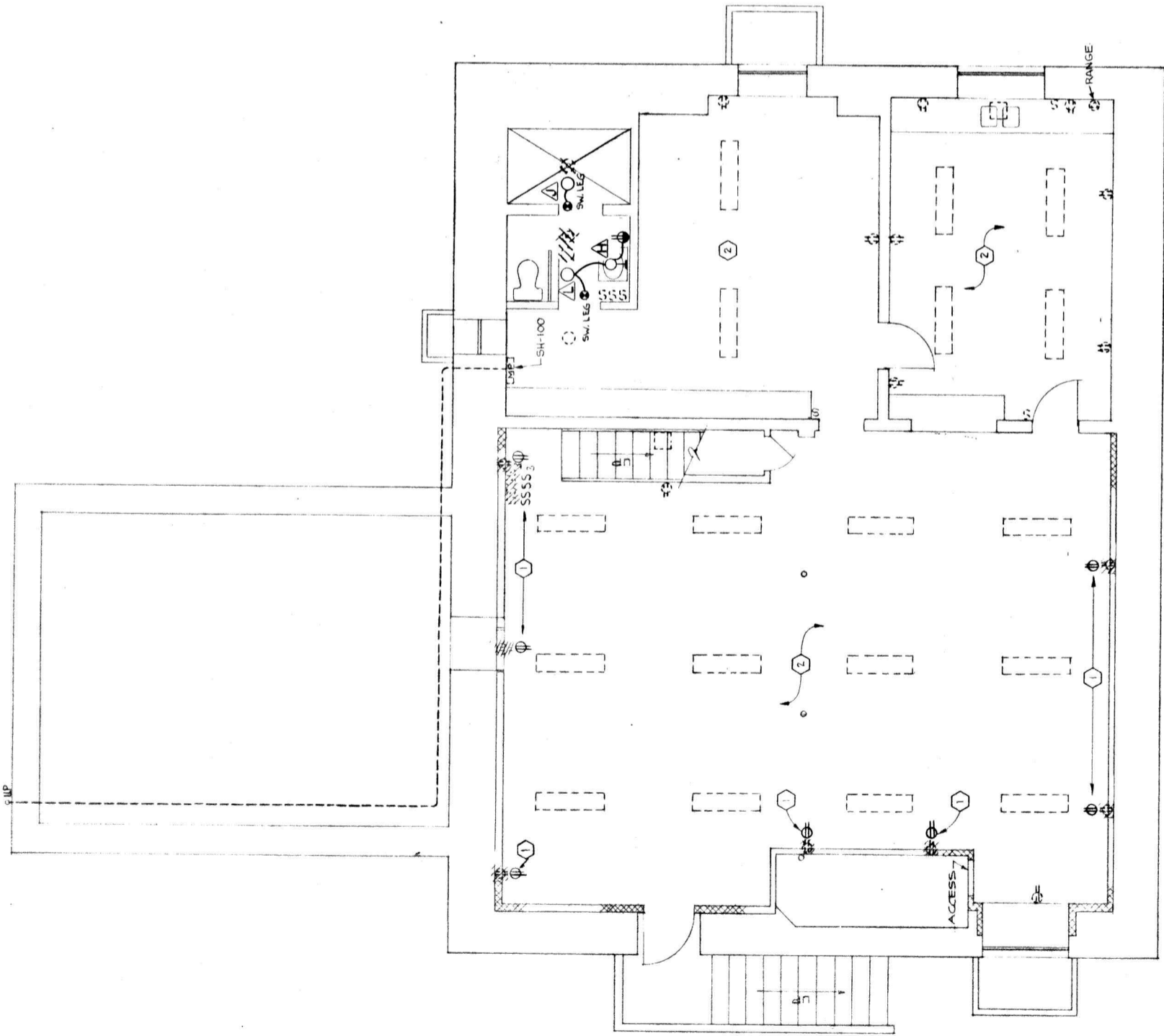
DESCRIPTION	LOADCENTER		SCHEDULE	
	CIRCUIT NUMBER	BREAKER RATING	WIRE SIZE	LOAD KVA/HP
CASKIE COTTAGE	1	1P, 20A	#12	1.75 KW
CS-200	3			RM. 13, 14, 15 - 1st FLR.
20/240V, 3W, 1Φ, 5/8" IN. RIGID ALUMINUM TUBING	5			6, 7, 8, 11, 12 - 2nd FLR.
FLUSH MOUNTED	7			6, 7, 8, 11, 12 - 2nd FLR.
	9			RM. 18, 19 - 2nd FLR.
	11			FUTURE A/C R/M
	2	1P, 20A	#12	1.575 KW
	4			RM. 8, 9, 10 - 1st FLR.
	6			5, 7, PORCH
	10			21, 23 - 2nd FLR.
	12			10, 15, 20 - 2nd FLR.
				SPACE

NOTE: TANDEM BRKRS. NOT ALLOWED.

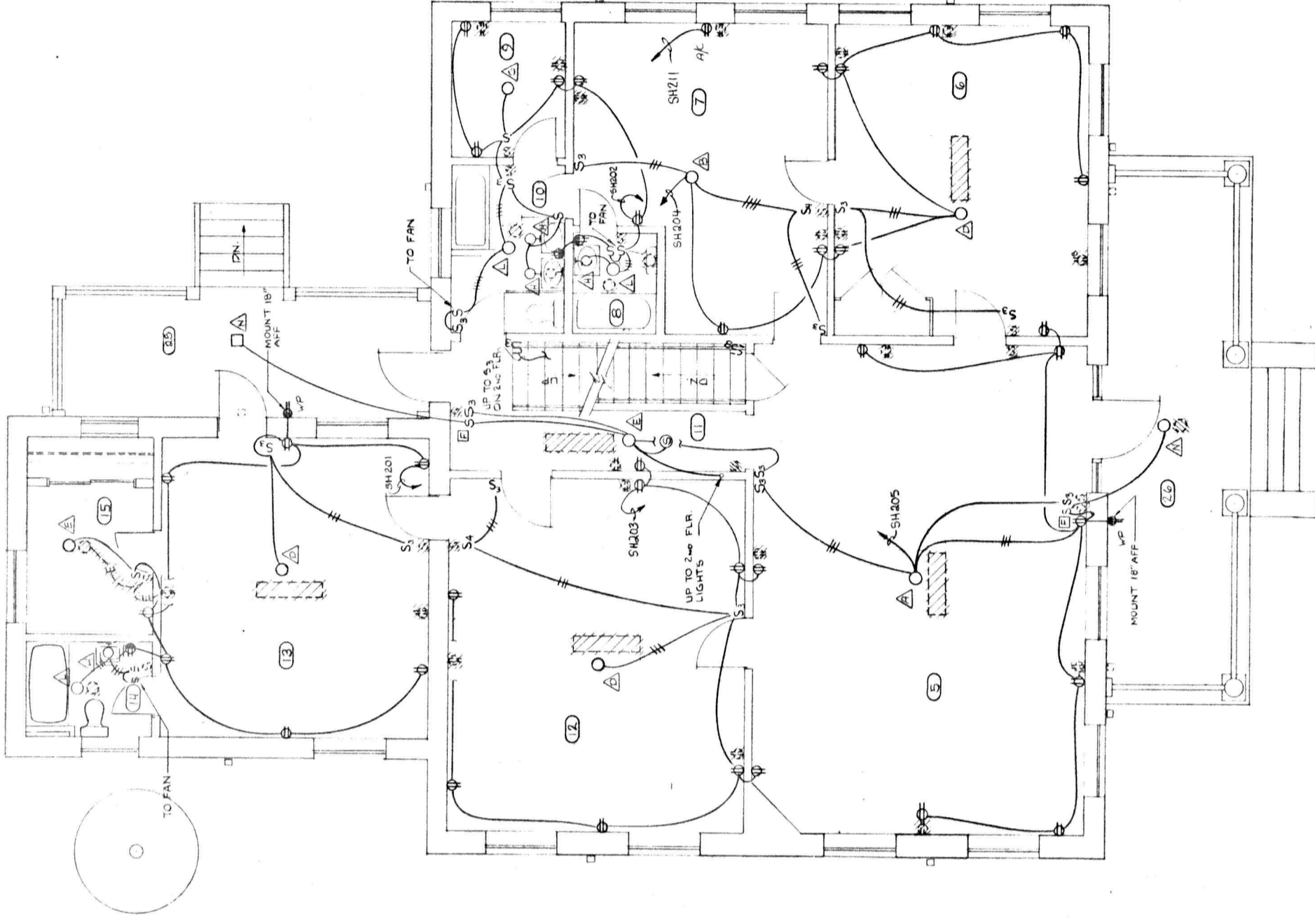


PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
PROJECT: PRESBYTERIAN HOME IMPROVEMENTS
SECOND FLOOR PLAN
CASKIE COTTAGE
DATE: 10/15/58
DRAWN BY: CMO
CHECKED BY: JMO
E-8



BASEMENT PLAN - SHELTON
1/4" = 1'-0"



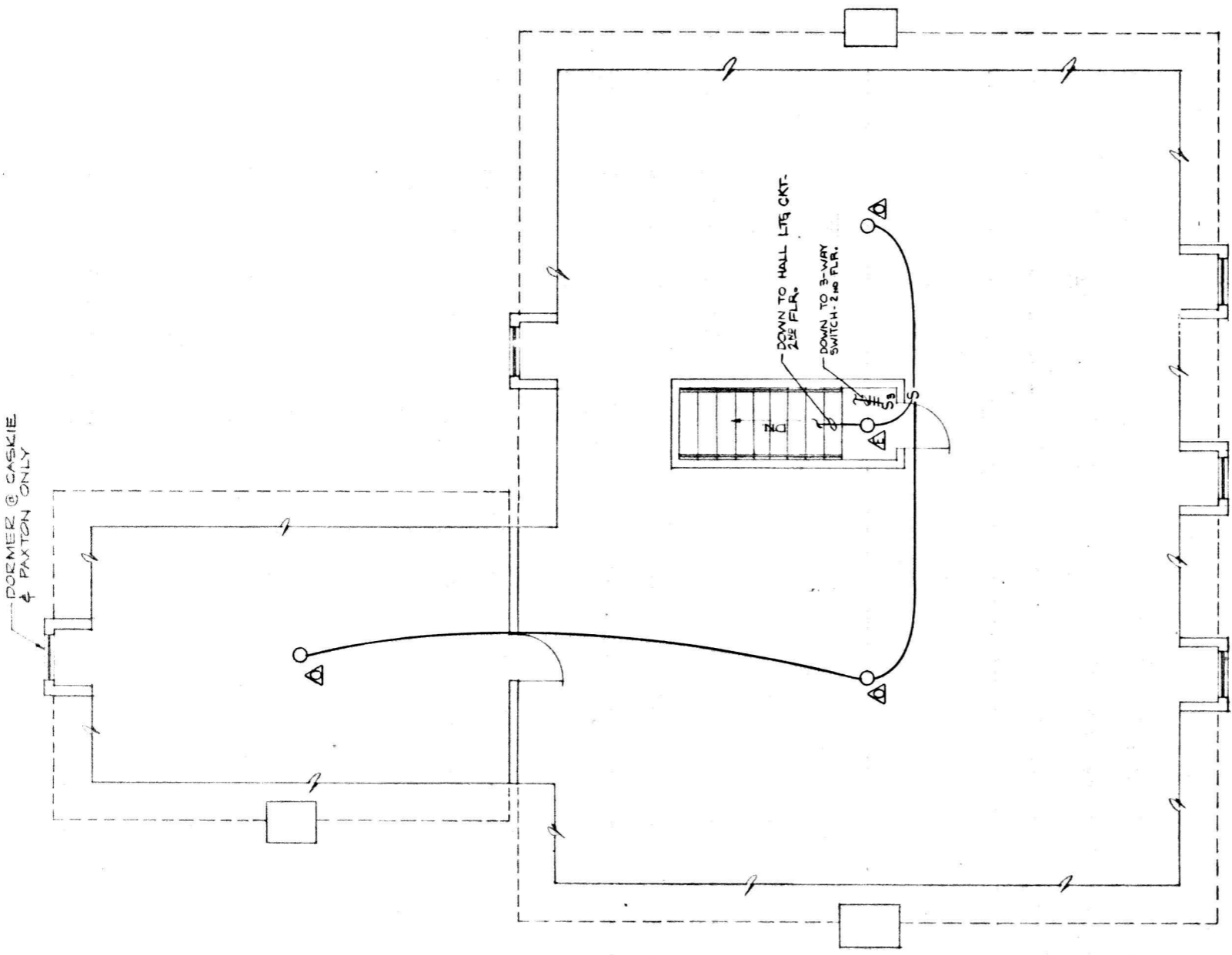
FIRST FLOOR PLAN - SHELTON
1/4" = 1'-0"

NOTE: FOR SECOND FLOOR PLAN SEE DWG. N# E-10. FOR ATTIC PLAN SEE DWG. N# E-11.

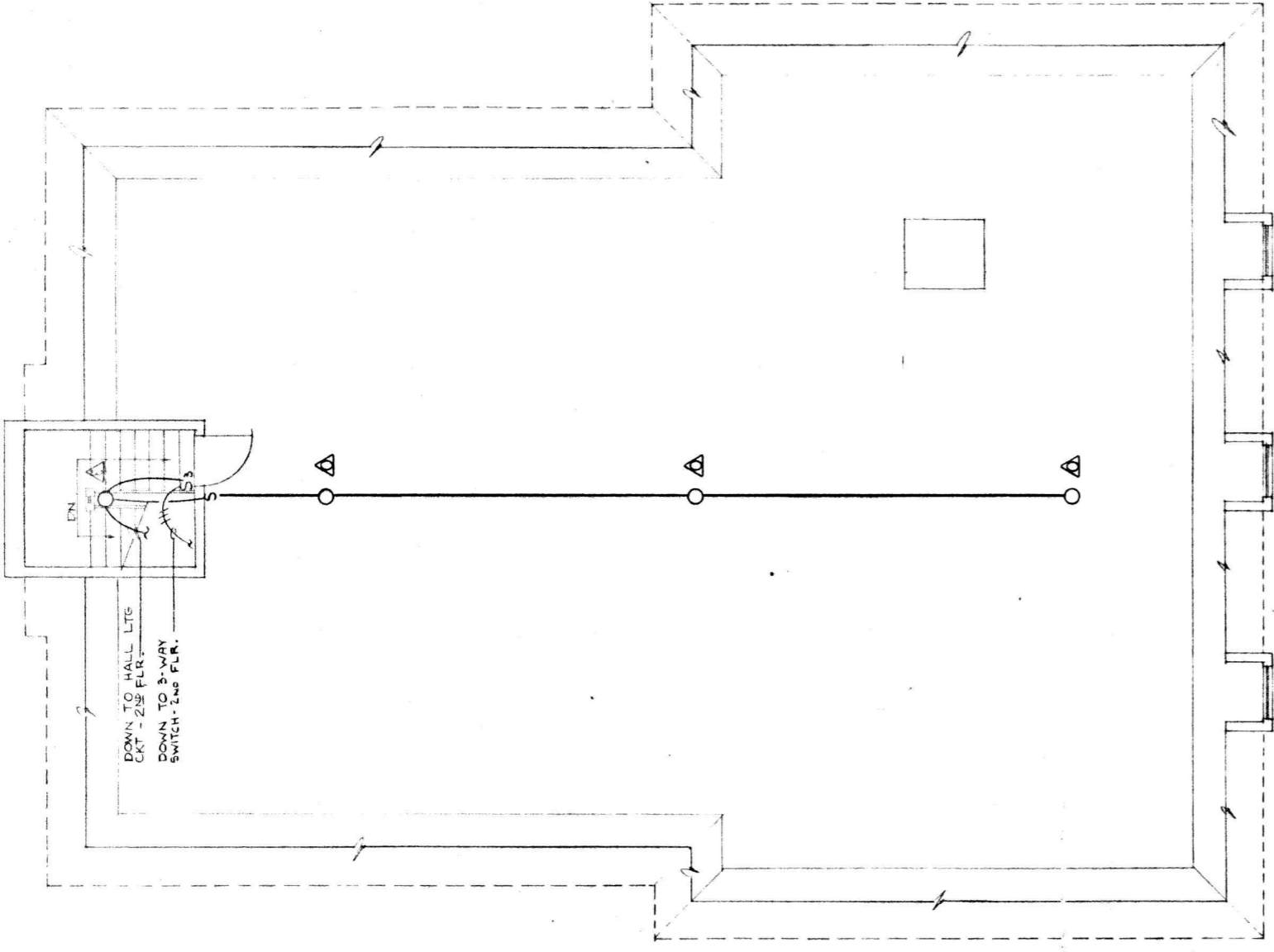


PRESBYTERIAN HOME IMPROVEMENTS
LYNCHBURG, VIRGINIA

CLARK, NEXSEN & OWEN
ARCHITECTS & ENGINEERS
LYNCHBURG, VIRGINIA
NOBLOCK, VIRGINIA
LEVEL: BASEMENT & FIRST FL. PLANS
SHELTON, COTTAGE
DWG. NO. E-9
DATE: FEB. 2, 1951
SCALE: 1/4" = 1'-0"



ATTIC FLOOR PLAN - CASKIE, SCRUGGS, SHELTON & PAXTON COTTAGES
 $\frac{1}{4}'' = 1'-0''$



ATTIC FLOOR PLAN - NOBLE COTTAGE
 $\frac{1}{4}'' = 1'-0''$



PREBYTERIAN HOME
 IMPROVEMENTS
 LYNCHBURG, VIRGINIA

CLARK, WATSON & OWEN
 ARCHITECTS & ENGINEERS
 111 N. MAIN ST.
 LYNCHBURG, VIRGINIA

